

GENERAL NOTES

- Owner/Developer: HomeGoods, Inc.
770 Cochituate Road
Framingham, Massachusetts 01701
Telephone: 508-390-5765
Contact: Mr. Jon K. Nelson
- Engineer: TDK Engineers LLC
2302 Paper Chase Drive
Lawrenceville, Georgia 30043
Telephone: 770-831-9122
Contact: Mr. Timothy D. Kopp, PE
- This property is shown on Jackson County Tax Maps as being located in G.M.D. 455, Jackson County as part of parcels numbers 078-009, 078-010, and 078-003.
- Project Zoning: U
Project Area: 104,666 Acres
Disturbed Area: 83.42 Acres
Proposed Use: Office/Warehouse
Front Yard: 40 FT from R/W
Side Yard: 30 FT
Rear Yard: 40 FT
Maximum height: 60'
Maximum stories: 4
- Water service to be provided by Jackson County water system. Sewage disposal to be provided by Jackson County sewer system.
- Preliminary Plat for Jefferson Distribution Center was approved on 8/21/07.
- Boundary information taken from "ALTA/ACSM Land Use Survey for Project Carrier", prepared by Valentino & Associates, Inc. (VAI), dated 5/21/13. Topographic information taken from "Topographic Survey for Project Carrier", prepared by VAI, dated 5/29/13. Rock surface is based on data contained in "Report of Subsurface Exploration, Project Carrier", prepared by S&ME, dated 5/23/13.
- A portion of this property lies within a Zone A Flood Hazard Area, according to the Flood Insurance Rate Map - Jackson County, Georgia - Panel No. 13157C 0128C, dated Dec. 7, 2010.
- All buffers and tree save areas shall be clearly identified by fencing prior to commencement of any land disturbance.
- This property is on a paved road.
- This property is part of a subdivision.
- This property is in a wetland area. Streams and wetlands shown hereon are per the "Report of Jurisdictional Waters Assessment, Project Carrier", prepared by S&ME, dated 5/16/13, as shown on VAI's topographic survey.
- This property is not in a watershed area.
- This property does not have any bodies of water on the property.
- Wetlands/waters shown on this plan are under the jurisdiction of the U.S. Army Corps of Engineers. Lot owners may be subject to penalty by law for disturbance to these waters without proper authorization (see Note 19 below).
- Storm water management provided for this project. Reference "Storm Water Management Report for Jefferson Distribution Center, Project Carrier", prepared by TDK Engineers LLC, dated 6/24/13.
- The following variances have been approved for this project:
V-07-J09 - Eliminate the requirement that a development permit be obtained prior to conducting any land-disturbing activity, and allow clearing, clearing and grubbing and/or grading and utility installation permits to be obtained.
V-07-J10 - Reduce the minimum parking required for warehouse use to one per 3,000 square feet.
V-07-J12 - Reduce the minimum landscape strip along right-of-ways to ten feet.
- All construction shall be in accordance with the latest versions, including amendments, of the following regulations, specifications and standards as appropriate, in order of priority as shown below, except as otherwise indicated on the construction drawings.
 - City of Jefferson Land Use Management Code.
 - Jackson County Water and Sewerage Authority Standard Specifications
 - Georgia Storm Water Management Manual.
 - Georgia County Unified Development Code.
 - Georgia Department of Transportation Regulations for Driveway and Encroachment Control.
 - NFPA 24: Standard for the Installation of Private Fire Service Mains and their Appurtenances.
 - Georgia Department of Transportation Roadway and Bridge Standard Plans.
 - Georgia Department of Transportation Standard Specifications for Road and Bridge Construction.
 - Construction Specification Institute's SPECTEXT Specifications.
 - American Institute of Architects' MASTERSPEC Specifications.
- The design professional whose seal appears hereon certifies the following: (1) the National Wetlands Inventory Map has been consulted; (2) the appropriate plan sheet **X** DOES - DOES NOT

Indicate wetlands as shown on the map; and (3) if wetlands are indicated the land-owner or developer has been advised that land disturbance of protected wetlands shall not occur unless the appropriate Section 404 Permit or Letter of Permission has been obtained.

| PARKING TABULATION | | |
|--------------------------------------|----------------------------|--|
| Building Square Footage: | Office - 28,298 sq. ft. | |
| | Warehouse - 77,474 sq. ft. | |
| TOTAL | - 800,772 sq. ft. | |
| Parking Spaces: | | |
| (a) Car/Van Parking Spaces: | | |
| Minimum Total Parking Required: | | |
| Office - (1 space/300 sq. ft.) | 95 spaces | |
| Warehouse - (1 space/3,000 sq. ft.) | 258 spaces | |
| TOTAL | 353 spaces | |
| Maximum Total Parking Permitted: | | |
| Office - (1 space/250 sq. ft.) | 114 spaces | |
| Warehouse - (1 space/3,000 sq. ft.) | 515 spaces | |
| TOTAL | 629 spaces | |
| Standard parking provided: | 588 spaces | |
| Accessible parking provided: | 10 spaces | |
| Van-accessible parking provided: | 2 spaces | |
| Total parking provided: | 600 spaces | |
| Accessible parking required: | 12 spaces | |
| (b) Trailer Parking Spaces provided: | | |
| | 708 spaces | |

SIGHT DISTANCE CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT THE PROPOSED DRIVEWAYS FOR JEFFERSON DISTRIBUTION CENTER PROJECT CARRIER ARE DESIGNED WITH ADEQUATE SHORT DISTANCE. THE REGULATED SPEED LIMIT OF LYONS CENTER PARKWAY (LCP) AND RACON PARKWAY (RP) IS 30 MPH. THE MINIMUM SHORT DISTANCE REQUIRED FOR THE DRIVEWAYS ALONG LCP IS 335', AND FOR THE DRIVEWAY ALONG RP IS 350' (LEFT) AND 375' (RIGHT). THE SHORT DISTANCES PROVIDED FOR THE DRIVEWAYS ALONG LCP EXCEED 335', AND FOR THE DRIVEWAY ALONG RP EXCEEDS 350' (LEFT) AND 375' (RIGHT). SHORT DISTANCE IS MEASURED PARALLEL TO THE ROADWAY, FROM 10' FROM THE EDGE OF THE TRAVEL WAY (FOR LCP) AND 15' FROM THE EDGE OF THE TRAVEL WAY (FOR RP), AT A HEIGHT OF 3.5' ABOVE THE SURFACE OF THE ROADWAY, TO AN OBJECT ON THE CENTERLINE OF THE ROAD 2.0' ABOVE THE SURFACE OF THE ROADWAY.



Signed and Sealed

Date 8-14-13

REZONING CONDITIONS

A. REZONING CASE NO. R-07-J12 WAS APPROVED ON 7/16/07 TO ANNEX AND REZONE THE EASTERN PORTION OF THE SITE TO U, WITH THE FOLLOWING CONDITIONS:

1. ROAD IMPROVEMENTS. THE APPLICANT SHALL MEET ALL GA DOT REQUIREMENTS INVOLVING DOT RIGHT OF WAY BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED FOR ANY DEVELOPMENT ON THE SITE. THE APPLICANT MUST ALSO COMPLETE A TRAFFIC SIGNAL WARRANT ANALYSIS CONSIDERING THE FULL IMPACTS OF THE PROPOSED DEVELOPMENT FOR THE INTERSECTION OF SR 82 AND I-85 AND AGREE TO FUND ANY SIGNALIZATION IMPROVEMENTS REQUIRED BY GA DOT.

THE FIRST PART OF THE CONDITION HAS BEEN SATISFIED, AS THE S.R. 82 IMPROVEMENT PLANS WERE APPROVED/PERMITTED BY GOVT. AND THE IMPROVEMENTS SHOWN THEREON (INCLUDING THE ENTRANCE TO THIS PROJECT SITE) WERE SUBSEQUENTLY CONSTRUCTED AND ACCEPTED/DEDICATED.

THE SECOND PART OF THE CONDITION HAS ALSO BEEN SATISFIED. (SEE TRAFFIC SIGNAL WARRANT ANALYSIS PREPARED BY STREET SMARTS, LAST REVISED MARCH 2008, AND LETTER FROM IDI TO JOHN WARD DATED JUNE 19, 2008)

B. REZONING CASE NO. R-13-J03 WAS APPROVED ON 6/17/13 TO ANNEX AND REZONE THE WESTERN PORTION OF THE SITE TO U, WITH THE SAME CONDITIONS AS R-07-J12.

INSTRUCTIONS TO CONTRACTORS

GENERAL PROVISIONS

- All work shall comply with applicable State, Federal and Local codes (See General Note No. 18) and all necessary licenses and permits shall be obtained by the Contractor at his expense unless previously obtained by Owner.
- All work shall be performed in a finished and workmanlike manner to the entire satisfaction of the Owner, and in accordance with the best recognized trade practices. The Contractor shall warrant to the Owner for a minimum period of 18 months following completion of construction.
- Deviations from these plans without the prior consent of the Owner or his representatives may be cause for the work to be unacceptable.
- The drawings and specifications are intended to cover a complete project ready for use, and all items necessary for a complete and workable job shall be furnished and installed.
- All materials shall be new, unless used or salvaged materials are authorized by the Owner and appropriate authorities.
- The Contractor shall furnish and maintain all necessary barricades around the work and shall provide protection against water damage and soil erosion.
- Existing utilities for which the locations are known are shown for the Contractor's convenience. There may be other utilities not shown on these plans, such as electric, telephone and gas lines. The Engineer assumes no responsibility for the locations shown or for the utilities not shown. It shall be the Contractor's responsibility to verify the locations of all utilities within the limits of the work. All damage made to existing utilities by the Contractor shall be the sole responsibility of the Contractor. The Contractor is advised to notify the Utilities Protection Center at 811 prior to doing any excavation.
- Contractor shall coordinate location and installation of all underground utilities and appurtenances prior to construction of paving, and compacted subgrade. All underground utilities, including those installed by others (electrical conduit, gas, telephone, and any other miscellaneous) shall be in-place prior to the placement of base course material if possible.
- If the Contractor, in the course of work, finds any discrepancy between the plans and the physical conditions of the locality, or any errors or omissions in the plans or the layout as given by the Engineer, it shall be his duty to immediately inform the Engineer, in writing, and Engineer will promptly verify the same. Any work done after such discovery, until authorized, will be at the Contractor's risk.
- No Certificate of Occupancy (C.O.) will be issued until all site improvements have been completed.
- The Contractor shall provide sheeting and shoring for all trench construction in accordance with O.S.H.A. guidelines/regulations.
- Contractor shall maintain access for emergency vehicles around and to all buildings under construction. In lines of rain or mud, roads shall be able to carry a fire truck by being paved or having a crushed stone base with a minimum width of 20'.

GEOTECHNICAL

- All construction shall be performed in accordance with the recommendations contained in the report prepared by S&ME referenced in General Note No. 7. In event of a conflict between the report recommendations and these plans, the report shall govern.
- Soils testing and on-site inspection shall be performed by an independent Geotechnical Engineer selected and paid by the Owner. In the event of conflict between specifications provided by the Engineer and recommendations provided by the Owner's Geotechnical Engineer, the Contractor shall adhere to the most stringent.
- Contractor shall provide any excavation and material samples necessary to conduct required soil tests. All arrangements and scheduling for testing shall be the Contractor's responsibility.
- Geotechnical Engineer shall provide copies of test reports to the Contractor, the Owner and the Owner's Representative and shall notify the Owner, his Representative and the Contractor promptly should work performed by the Contractor fail to meet these specifications.

EARTHWORK/GRADING

- Earthwork and grading shall be performed in accordance with the Geotechnical Engineer's specifications and recommendations, or with CSI's SPECTEXT Section 02200 if not covered by the Geotechnical Engineer's specifications, except as otherwise noted on drawings.
- Maximum slope of fill embankment shall be 2 feet horizontal to 1 foot vertical unless otherwise shown.
- Topsoil is to be stripped and stockpiled in amounts necessary or available on site to complete final grading of all exposed areas.
- Fill material is to be free of brush, rubbish, rocks, logs, and stumps in amounts that are detrimental to constructing stable fills.
- Out slopes which are to be topsoiled will be scarified to a minimum depth of 3 inches prior to placement of topsoil.
- Compaction of fills will be as required to reduce settling, erosion, or excess saturation.
- Frozen mixtures of soft, mucky, or easily compressible materials are not to be incorporated in fills intended to support buildings, parking lots, roads, structures, sewers, or conduits.
- All disturbed areas shall be left with a neat and finished appearance and stabilized with the appropriate permanent protective cover.
- All proposed grades shown are finished grades, unless otherwise noted.
- If required by owner, soil cement shall be provided for the building pad, at areas to be determined. Soil cement shall be applied at the rate of 40 lbs of cement per sq. yd., to a depth of 6 inches. Portland cement shall be tied into the top 6" of old concrete. The old concrete shall be removed to a depth of 6 inches and the area shall be compacted and graded as required.

EROSION AND SEDIMENT CONTROL

- See "Erosion Control Notes and Details" sheets for Erosion and Sediment Control notes.
- Construction exit pads shall be installed by the Contractor at each construction access point.
- Erosion and sediment control measures shall be maintained at all times. Additional erosion and sediment control measures shall be installed if deemed necessary by on-site inspection.
- Sheets 3-8 together constitute the Erosion, Sedimentation and Pollution Control Plan (ESPP) required for compliance with the NPDES General Permit for Construction Activities. The owner and/or contractor shall be responsible for filing Notice of Intent, recording rainfall and performing sampling as required, ensuring compliance with the ESPP, performing and documenting weekly and post-storm inspections, updating the ESPP, etc., in compliance with the requirements of the General Permit.
- The escape of sediment from the site shall be prevented by the installation of erosion and sediment control measures and practices prior to, or concurrent with, land disturbing activities.
- Erosion control measures will be maintained at all times. If full implementation of the approved plan does not provide for effective erosion control, additional erosion and sediment control measures shall be implemented to control or treat the sediment source.
- Any disturbed area left exposed for a period greater than 14 days shall be stabilized with mulch or temporary seeding.

All work shall be performed in accordance with the provisions set forth in the NPDES General Permit and the Manual for Erosion and Sediment Control in Georgia.

STORM DRAINAGE

- All storm drainage pipe shall be laid on smooth, continuous grades with no visible bends at the joints. All trenching, pipe laying and backfilling shall be in accordance with Federal O.S.H.A. regulations and City of Jefferson regulations.
- Construction of storm drainage structures shall be in accordance with the details included in the construction drawings and related Georgia D.O.T. and/or City of Jefferson specifications.
- Aluminized steel Type 2 storm drainage pipe shall be installed in accordance with ASTM A798 and A796.
- HDPE storm drainage pipe shall be installed in accordance with ASTM D2321.
- Any other work associated with storm drainage construction which is not addressed in the preceding notes and in the construction drawings shall be governed by CSI's SPECTEXT Section 02720 as appropriate.

SANITARY SEWER

- All sanitary sewer line construction shall be in accordance with the Jackson County Water and Sewerage Authority (JCWSA) Standard Specifications and Details, latest edition.
- All sanitary sewer easements are property of the JCWSA, unless otherwise noted.
- All water and sewer facilities shall be installed by a licensed utility contractor in the State of Georgia.
- Marking Tape showing "Caution Buried Sewer Line" shall be installed approximately 18-inches above all waterlines.
- All water and sewer construction is inspected and tested as per JCWSA Standards prior to final acceptance by JCWSA.
- Record Drawings for this project must be submitted and approved prior to final acceptance by JCWSA.
- The Jackson County Water & Sewerage Authority (JCWSA) shall be notified at a minimum 48 hours (Monday through Friday) prior to commencing any work, testing, and prior to making any connections to existing waterlines.

- All sanitary sewer pipe shall be laid on smooth, continuous grades with no visible bends at the joints. All trenching, pipe laying and backfilling shall be in accordance with Federal OSHA regulation and with the applicable J.C.W.S.A. Standard Specifications and Details, latest edition.
- Any other work associated with sanitary sewer construction which is not addressed in the preceding notes and in the construction drawings shall be governed by CSI's SPECTEXT Section 02730 as appropriate.
- Sewer service laterals shall have #12 tracer wire taped to the pipe at 4' intervals and shall have marking tape installed 12-18 inches above the pipe as required under Section 2.3.12 of the J.C.W.S.A. Standard Specifications and Details, latest edition.

ACCESSIBILITY

- All Construction shall conform to the current Americans With Disabilities Act Accessibility Guidelines (ADAAG) as published by the U.S. Equal Employment Opportunity Commission and the U.S. Department of Justice.

PAVING AND CURBS

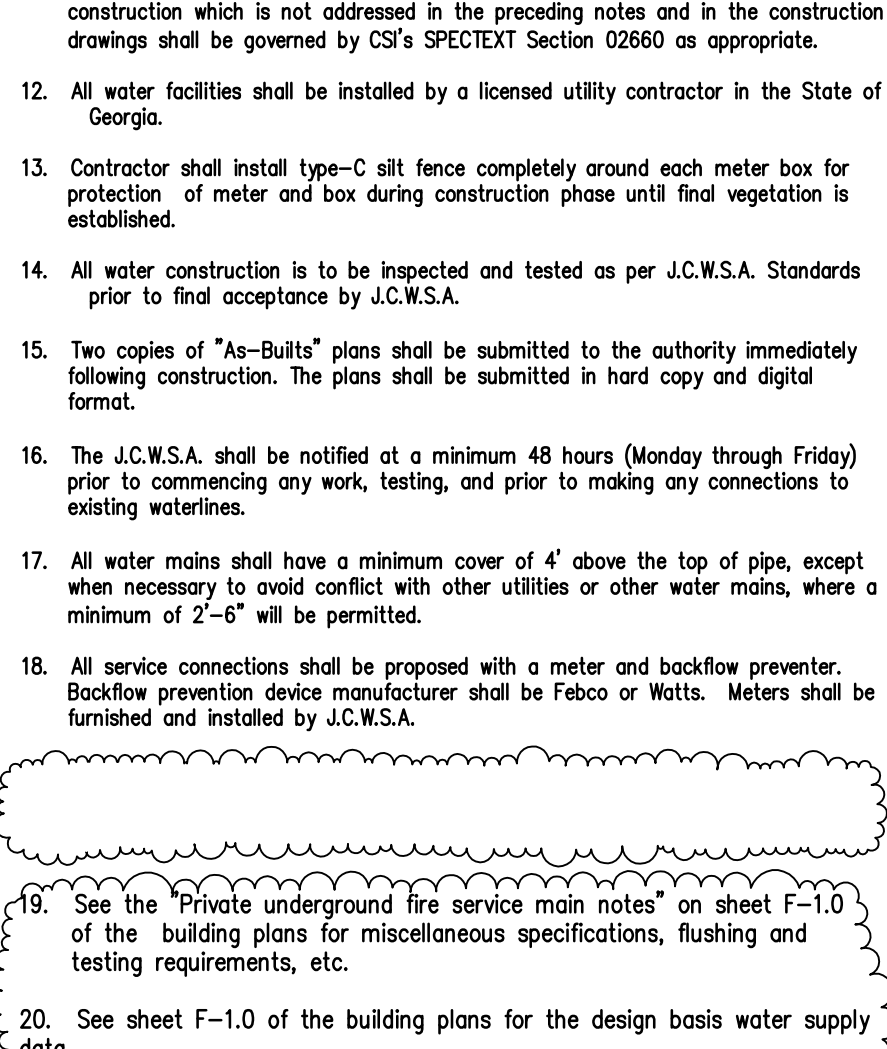
- Base course materials, equipment, methods of construction and workmanship shall conform to Department of Transportation, State of Georgia, Standard Specifications, most recent edition, Section 300 and other sections referred to therein.
- Asphaltic concrete surface course and asphalt prime materials, equipment, methods and workmanship shall conform to Department of Transportation, State of Georgia, Standard Specifications, most recent edition, Section 400, 412, 413, and other sections referred to therein.
- Concrete curbs shall be constructed in accordance with details shown on the plans. Materials, equipment, methods of construction and workmanship shall conform to Department of Transportation, State of Georgia, Standard Specifications, most recent edition, Section 441 and other sections referred to therein.
- The Contractor is responsible for the finishing of curbs. The Contractor is responsible for maintaining the proposed grade of the proposed finished grade. The upper 4 inches of soil in landscaped areas is to be topsoil. The topsoil is to be a natural surface soil, free of brush, weeds, and roots. The soil is to be free of trash, rubbish, construction debris, stumps, stones, or rocks greater than two inches in any dimension, or any other deleterious material.
- All concrete shall be 3,500 psi at 28 days, with a maximum slump of 2", unless noted otherwise.
- All exposed concrete to have a fine hair broomed finish.
- Any other work associated with paving and curb construction which is not addressed in the preceding notes or in the construction drawings shall be governed by CSI's SPECTEXT Sections 02010 and 02020 as appropriate.
- If required by owner, asphaltic caulking shall be provided at joints in concrete pavement.

WATER DISTRIBUTION/FIRE PROTECTION SYSTEM

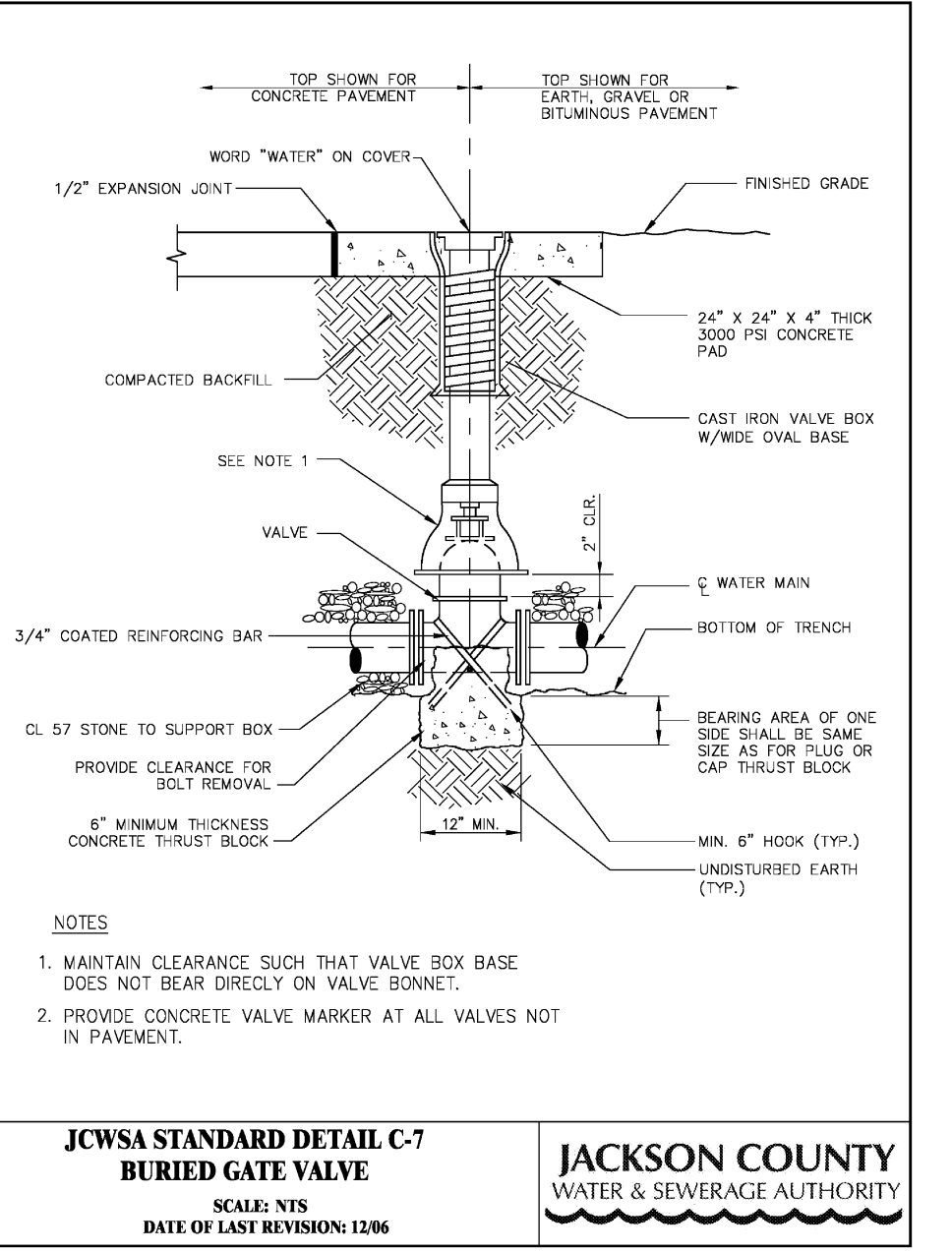
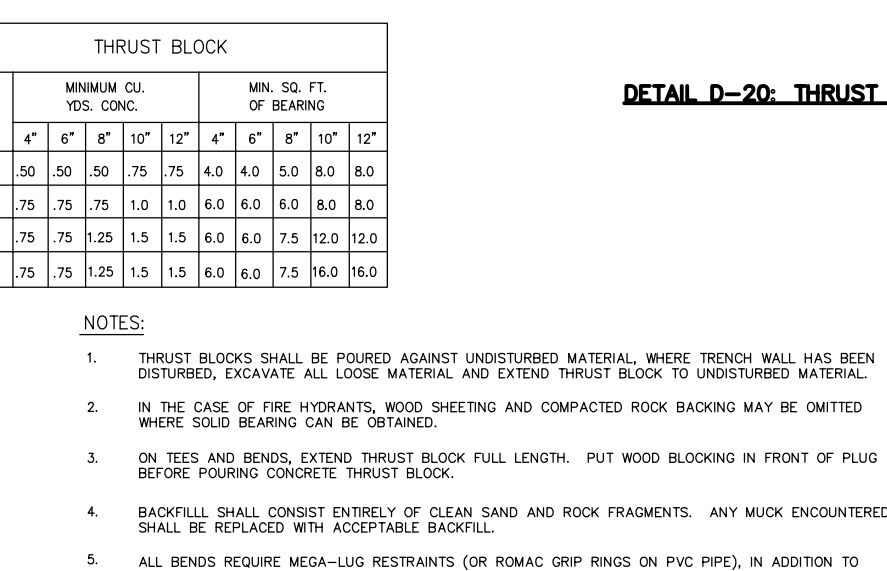
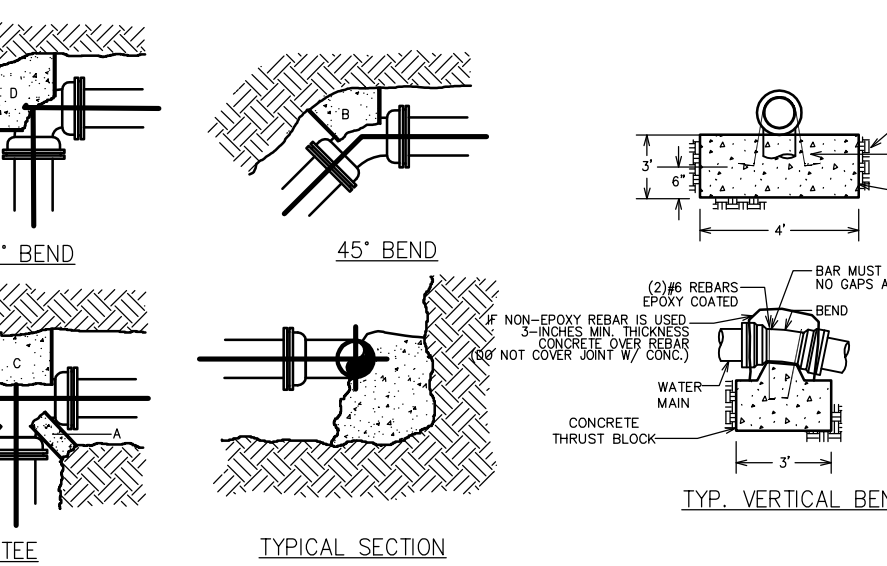
- Water line construction, materials, and appurtenances where governed by Jackson County Water and Sewerage Authority (JCWSA) shall be in accordance with all requirements of the JCWSA, and the specifications and details of the Authority's Standard Specifications, latest edition.
- Trenching, backfilling and installation shall be performed in accordance with all applicable portions of Article 4, Site Work and Earthwork, of the "Standard Specifications for JCWSA Water and Sewer Improvements".
- A Water Pre-construction Meeting is required before any digging can take place. Unpermitted / unauthorized connections are not allowed in this jurisdiction. Water use is prohibited without the use of a meter or without prior written permission from the Authority. If this provision is violated, the Owner of the offending service shall be immediately assessed a \$750 fine per incident per day.
- The Contractor shall provide proper equipment, tools and facilities required for convenient performance of the work. All pipe, fittings, valves, and hydrants shall be carefully lowered into the trench in such a manner as to prevent damage to pipe materials and to protect coatings and linings. Under no circumstances shall pipe or fittings be dropped or dumped into the trench; any pipe or fittings that are damaged shall be removed from the work site and shall not be used.
- Disinfection and flushing shall be performed in accordance with AWWA C651, "Standard for Disinfecting Water Mains".
- Tracer Wire and locator tape is required on all pipelines (both metal and PVC). Tracer wire shall be electrically conductive wire to meet the USA Standard Code for pressure piping USAS 831.8 Paragraph 842.43(3) and shall be taped to the pipe at 4' intervals. Locator tape shall be similar and equal to LifeGuard Type 1 with standard imprint-"Caution Water Line Below", by LifeGuard, Inc., and shall be installed 12-18" above the pipe. All waterline pipelines shall be marked. Tracer wire test stations shall be located at all blowoffs, and behind all fire hydrants. We shall be a minimum of 12 AWG. After installation there shall be a minimum of twenty-four inches of slack wire available in the test box or valve box (required under Section 2.3.12, JCWSA Standard Specifications, and Section 25-8-7(g) Georgia Dig Law).
- Building is to be sprinklered. (See Architectural Plans).
- Fire hydrants shall be under pressure and operable before any combustible construction is started.
- Hydrants are to be installed so that the large fire department connection faces the street. That same connection is to be no less than 18" nor more than 36" above finished grade. Fire hydrants located in parking areas shall be protected by barriers that will prevent physical damage by vehicles. (NFPA 1141 3-3.6, 3-6.6).
- A Georgia Certificate of Competency holder for automatic fire sprinkler systems will be responsible for the design and installation of the underground supply piping, starting at the point where the piping is solely dedicated to fire protection (18 1491).
- Any other work associated with water distribution and fire protection system construction which is not addressed in the preceding notes and in the construction drawings shall be governed by CSI's SPECTEXT Section 02600 as appropriate.
- Contractor shall install Type C-Alt fence completely around each meter box for protection of meter and box during construction phase until final vegetation is established.
- All water construction is to be inspected and tested as per JCWSA Standards prior to final acceptance by JCWSA.
- Two copies of "As-Built" plans shall be submitted to the authority immediately following construction. The plans shall be submitted in hard copy and digital format.
- The JCWSA shall be notified at a minimum 48 hours (Monday through Friday) prior to commencing any work, testing, and prior to making any connections to existing waterlines.
- All water mains shall have a minimum cover of 4' above the top of pipe, except when necessary to avoid conflict with other utilities or other water mains, where a minimum of 2'-6" will be permitted.
- All service connections shall be proposed with a meter and backflow preventer. Backflow prevention device manufacturer shall be Fabco or Watts. Meters shall be furnished and installed by JCWSA.

See the Private Underground Fire Service main notes on sheet F-1.0 of the building plans for miscellaneous specifications, flushing and testing requirements, etc.

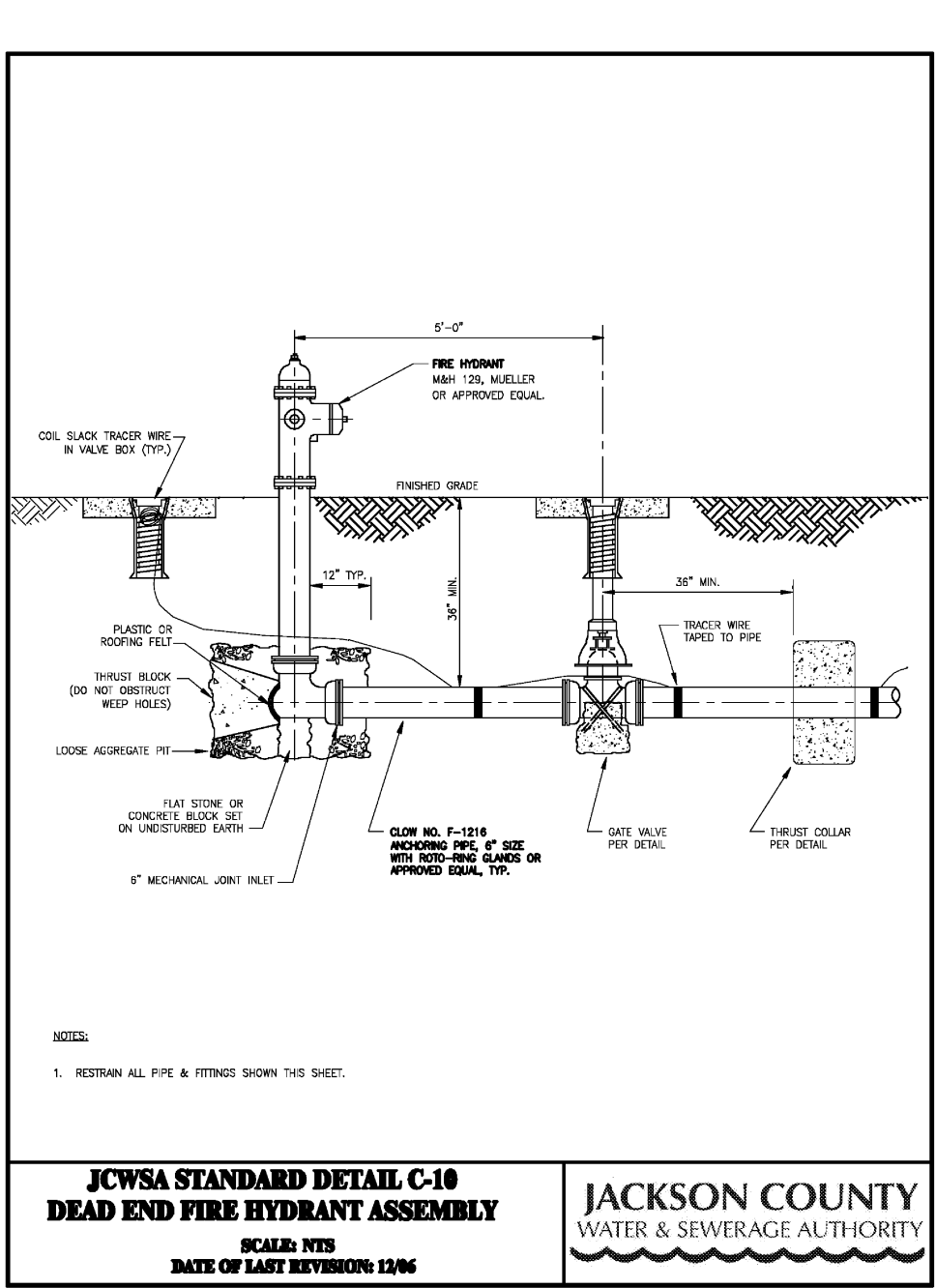
See sheet F-1.0 of the building plans for the design basis water supply details.



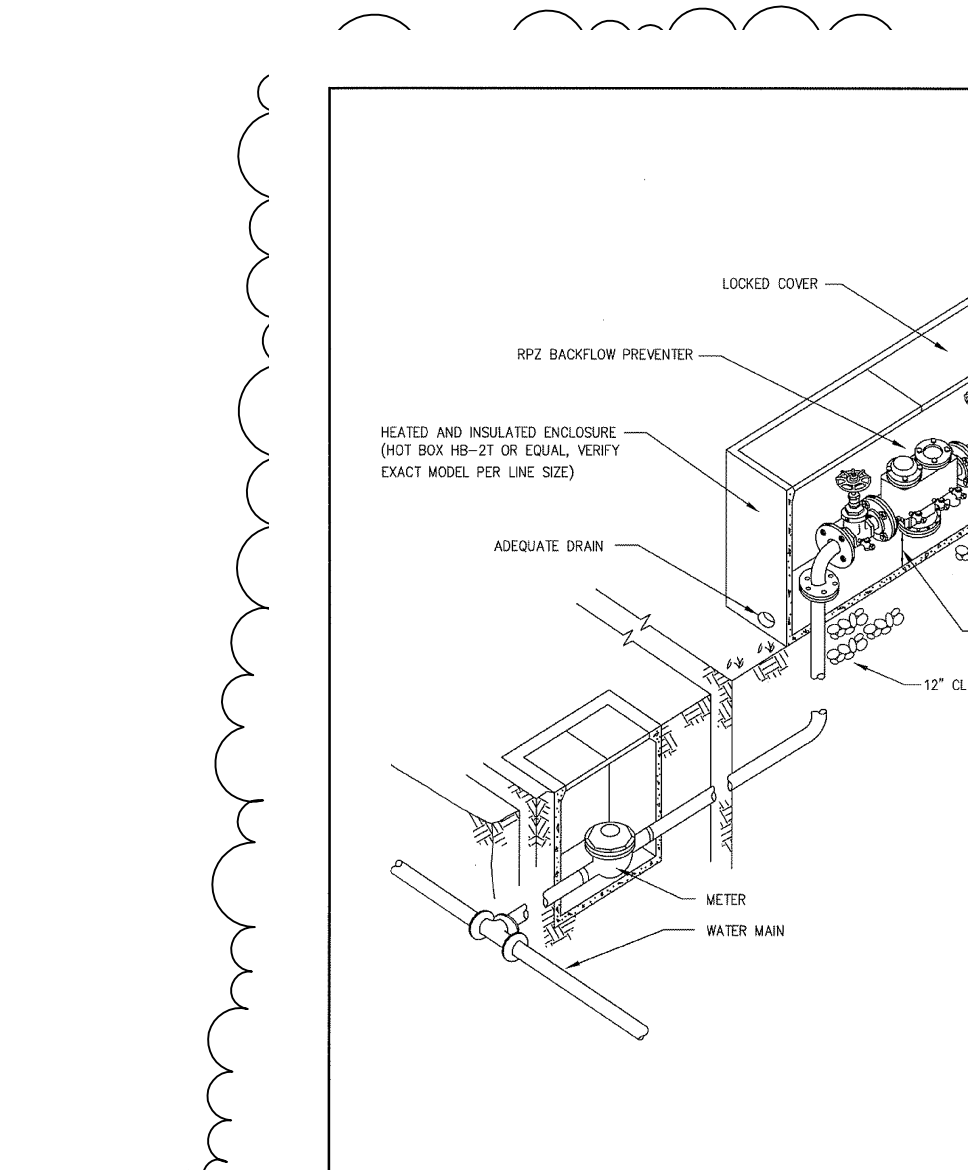
DETAIL D-20- THRUST BLOCK



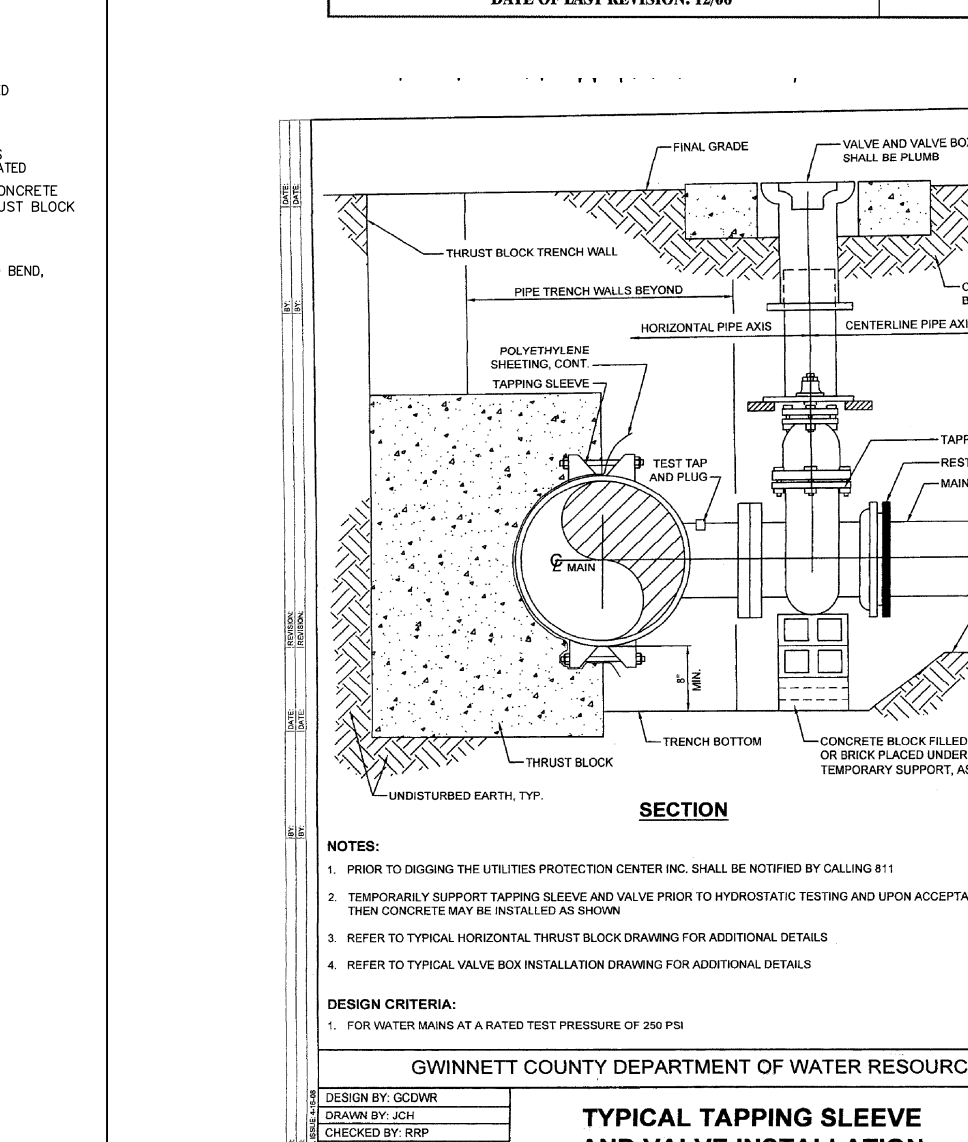
DETAIL D-20- THRUST BLOCK



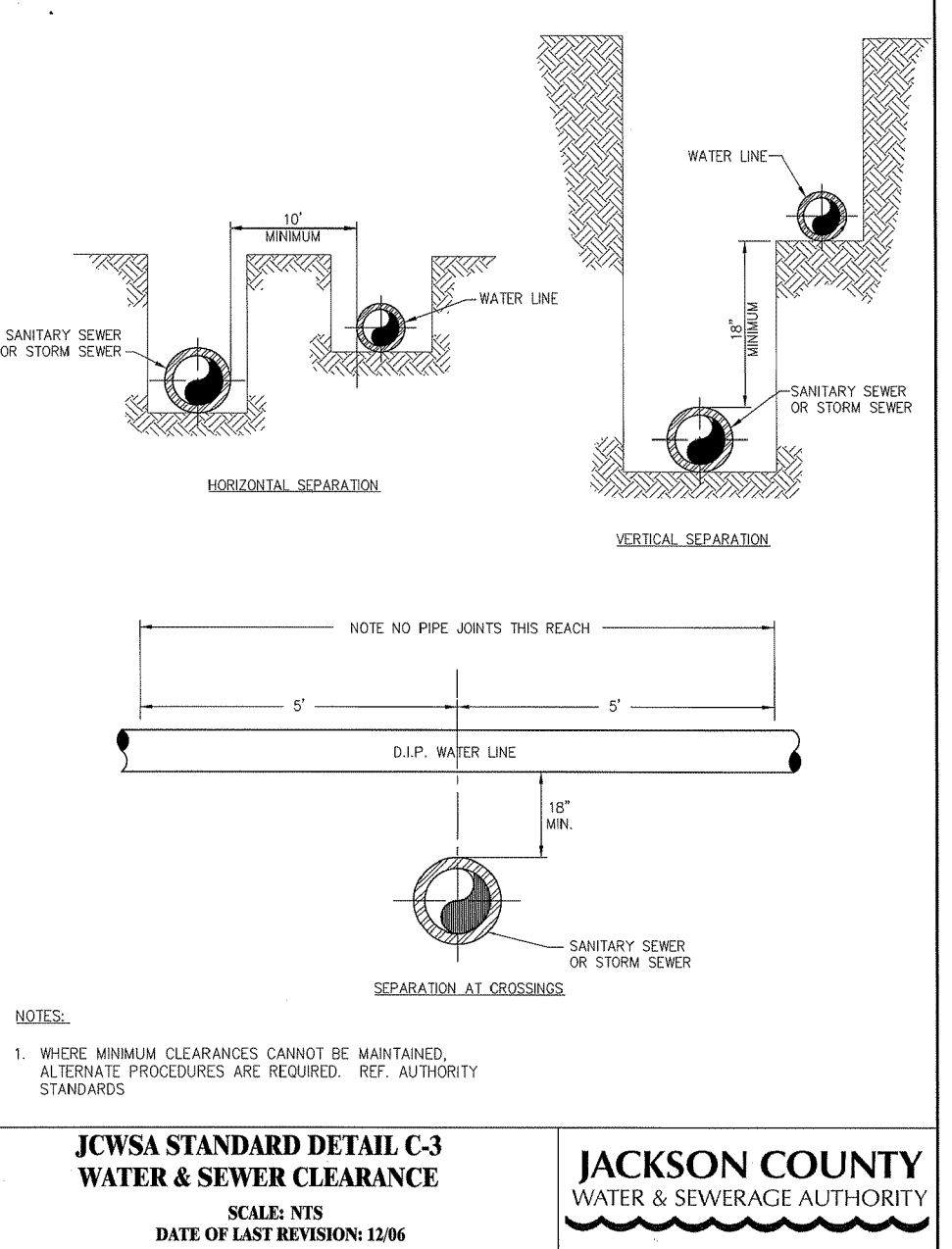
DETAIL D-20- THRUST BLOCK



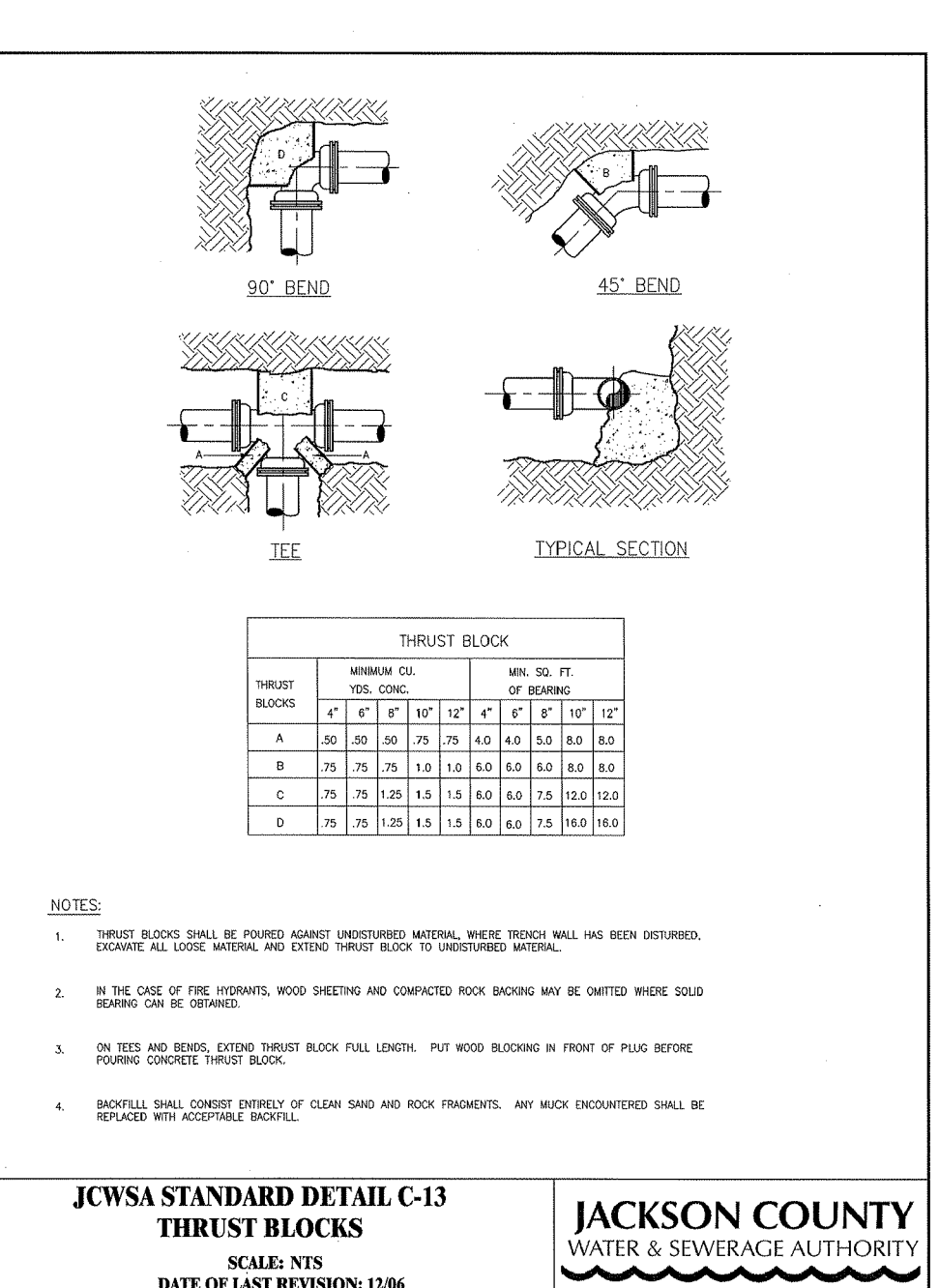
DETAIL D-20- THRUST BLOCK



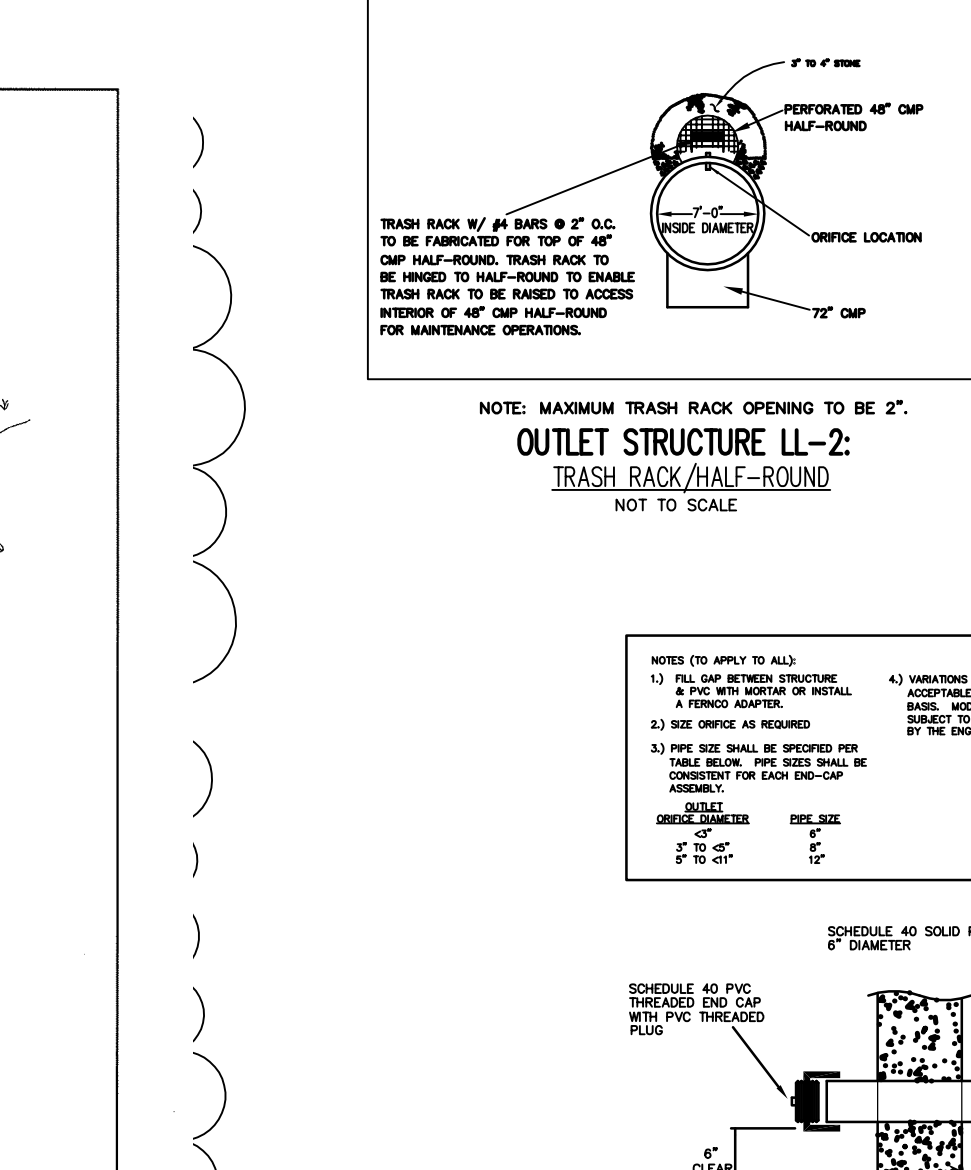
DETAIL D-20- THRUST BLOCK



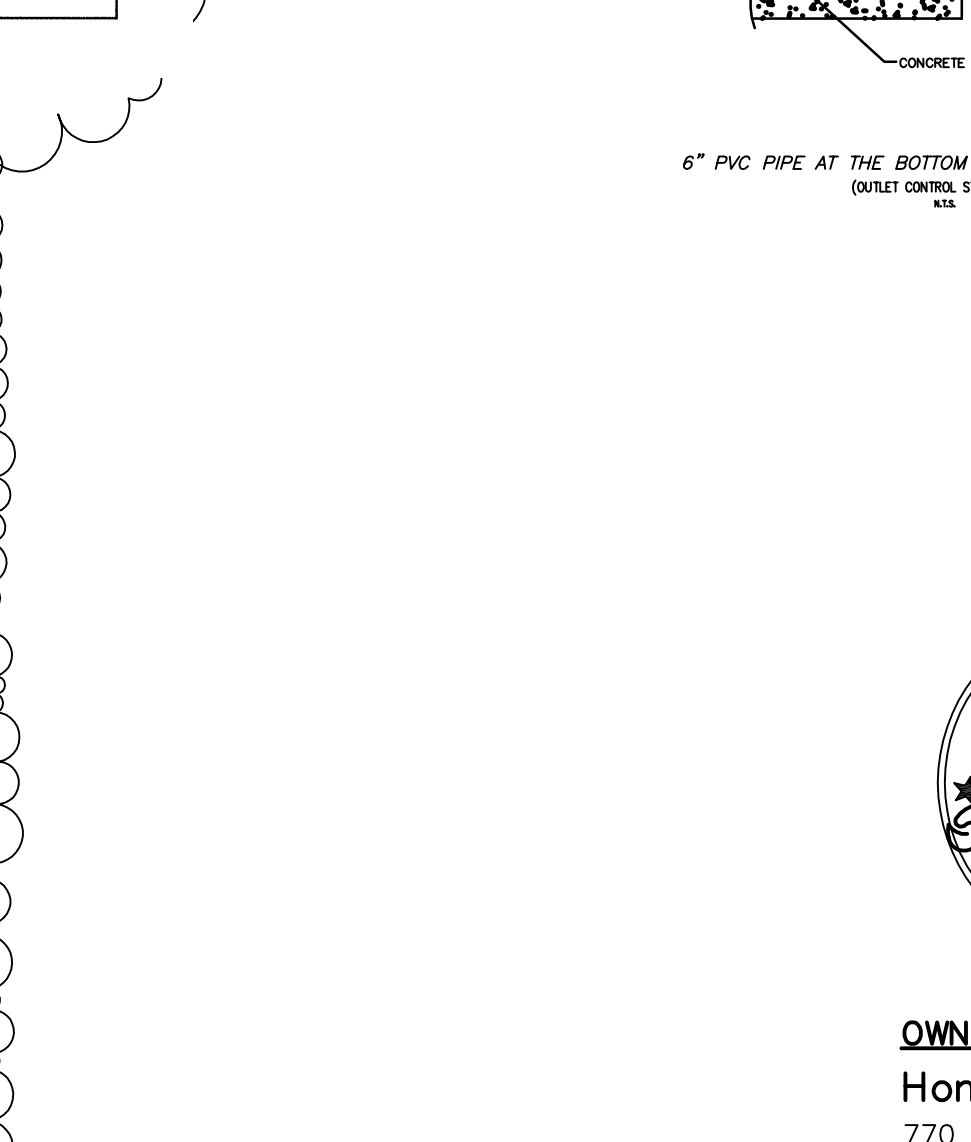
DETAIL D-20- THRUST BLOCK



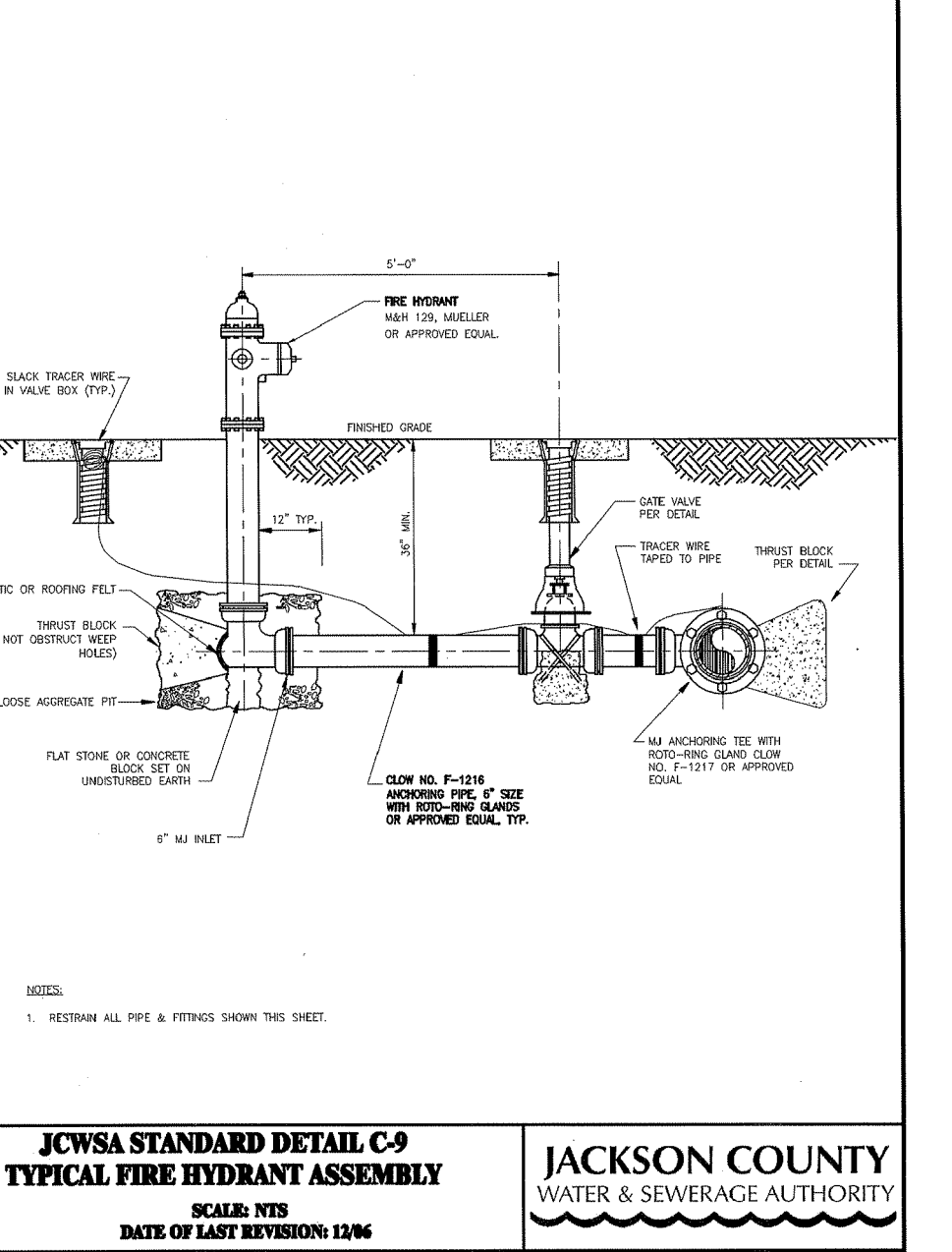
DETAIL D-20- THRUST BLOCK



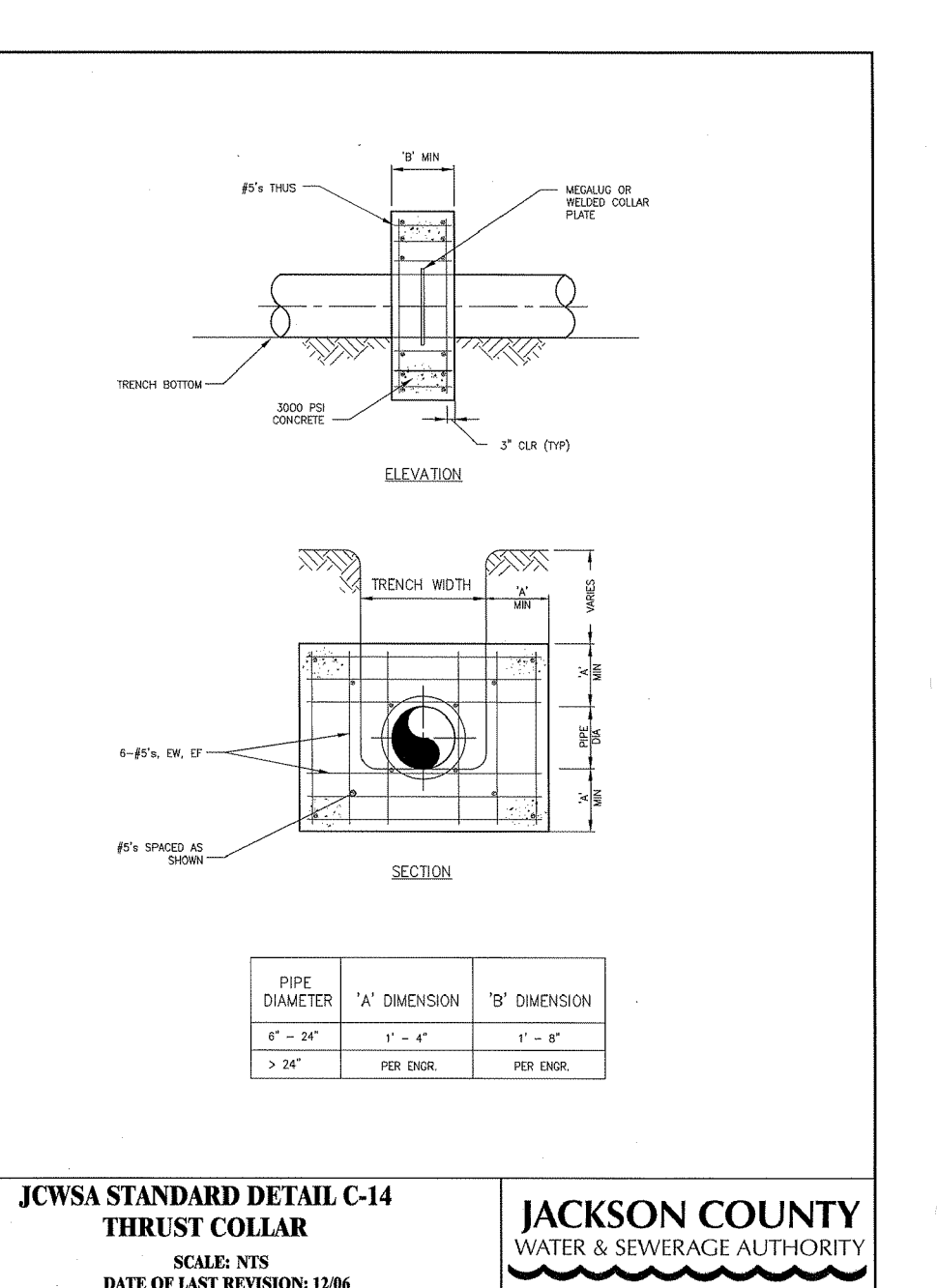
DETAIL D-20- THRUST BLOCK



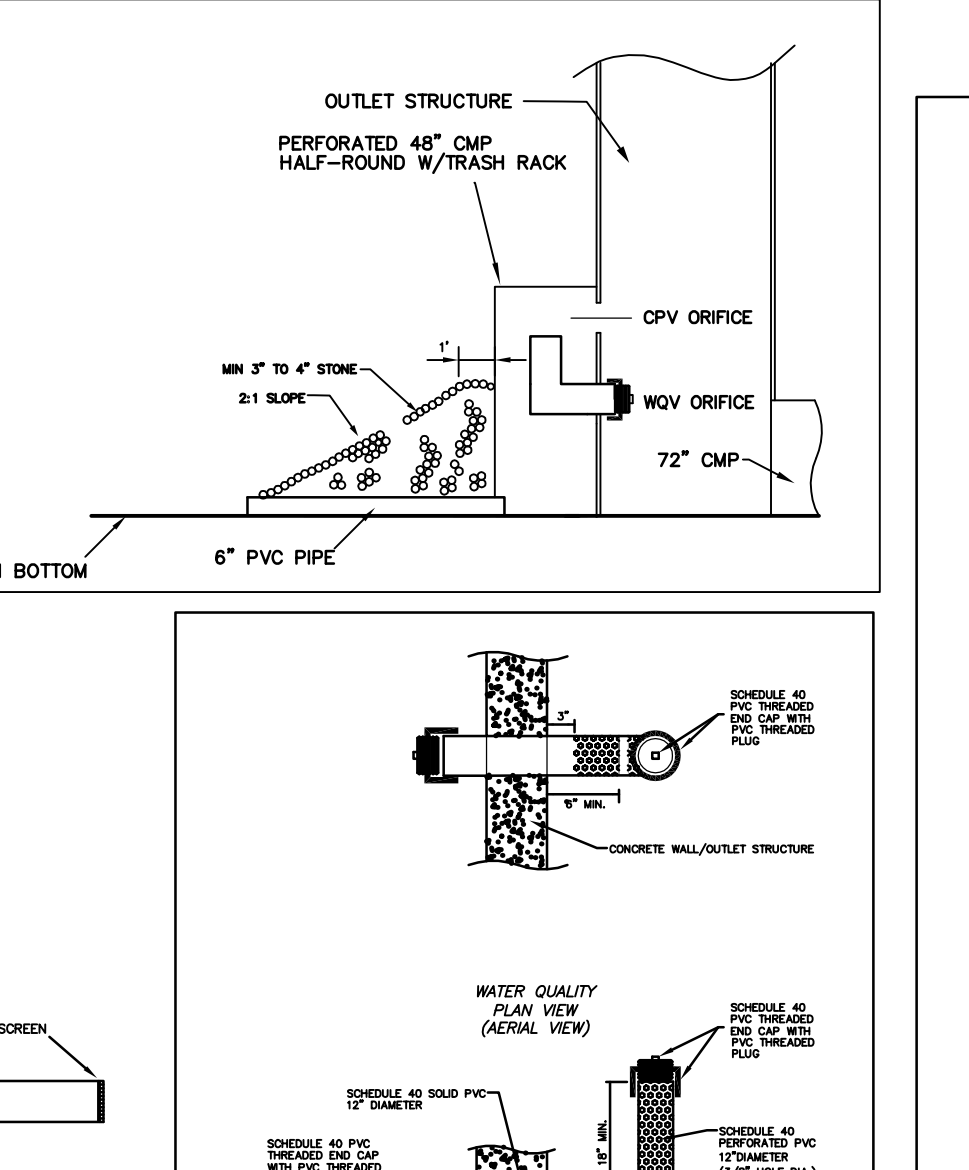
DETAIL D-20- THRUST BLOCK



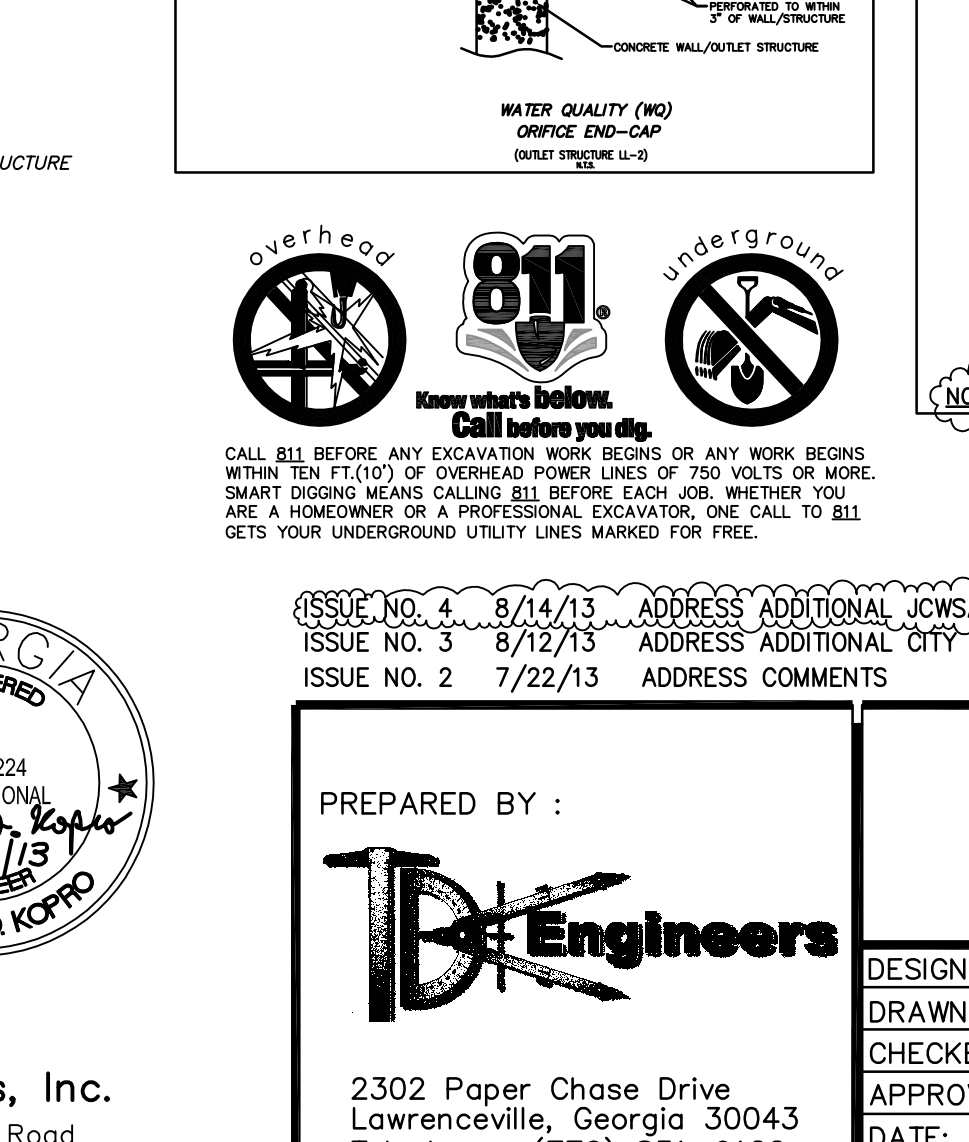
DETAIL D-20- THRUST BLOCK



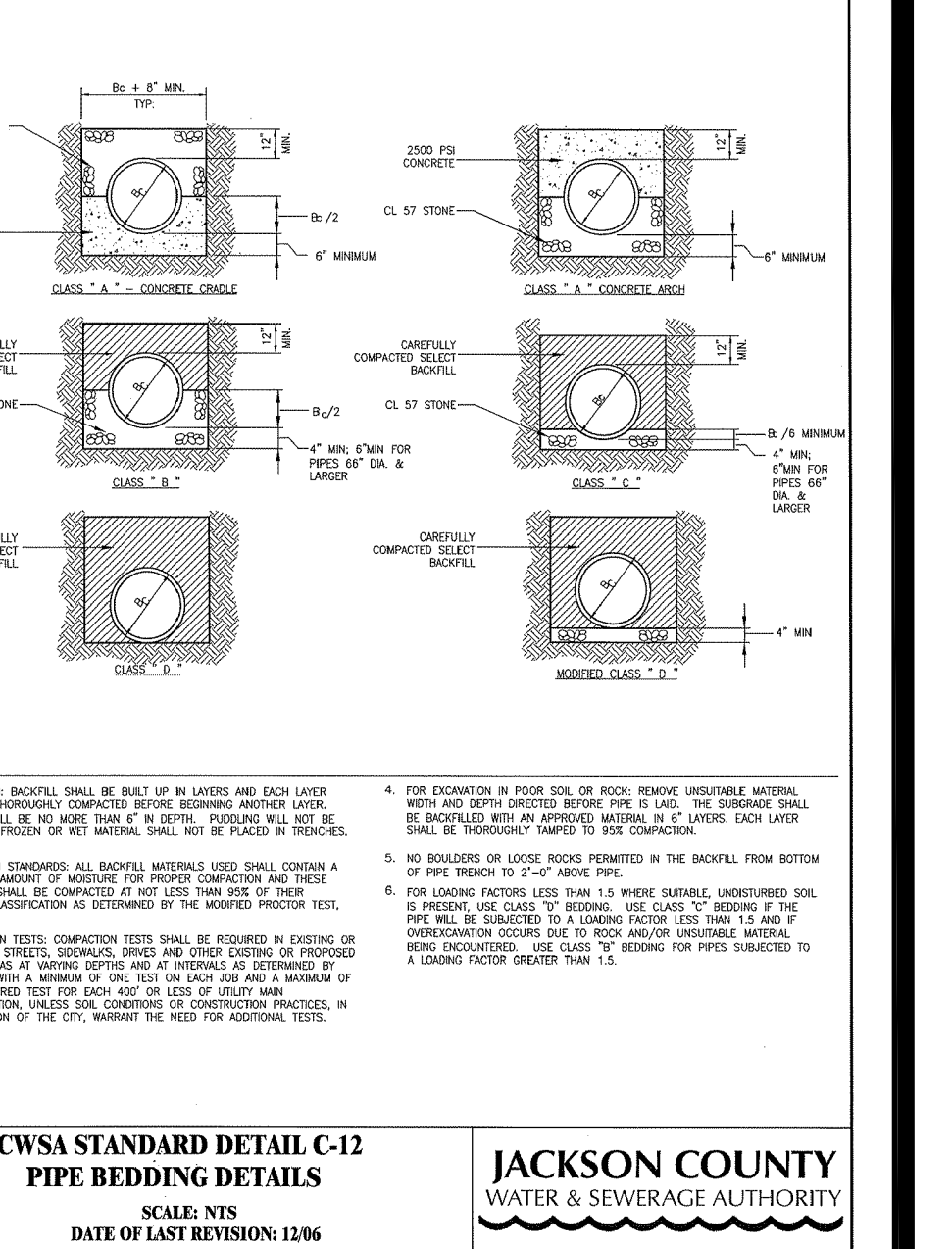
DETAIL D-20- THRUST BLOCK



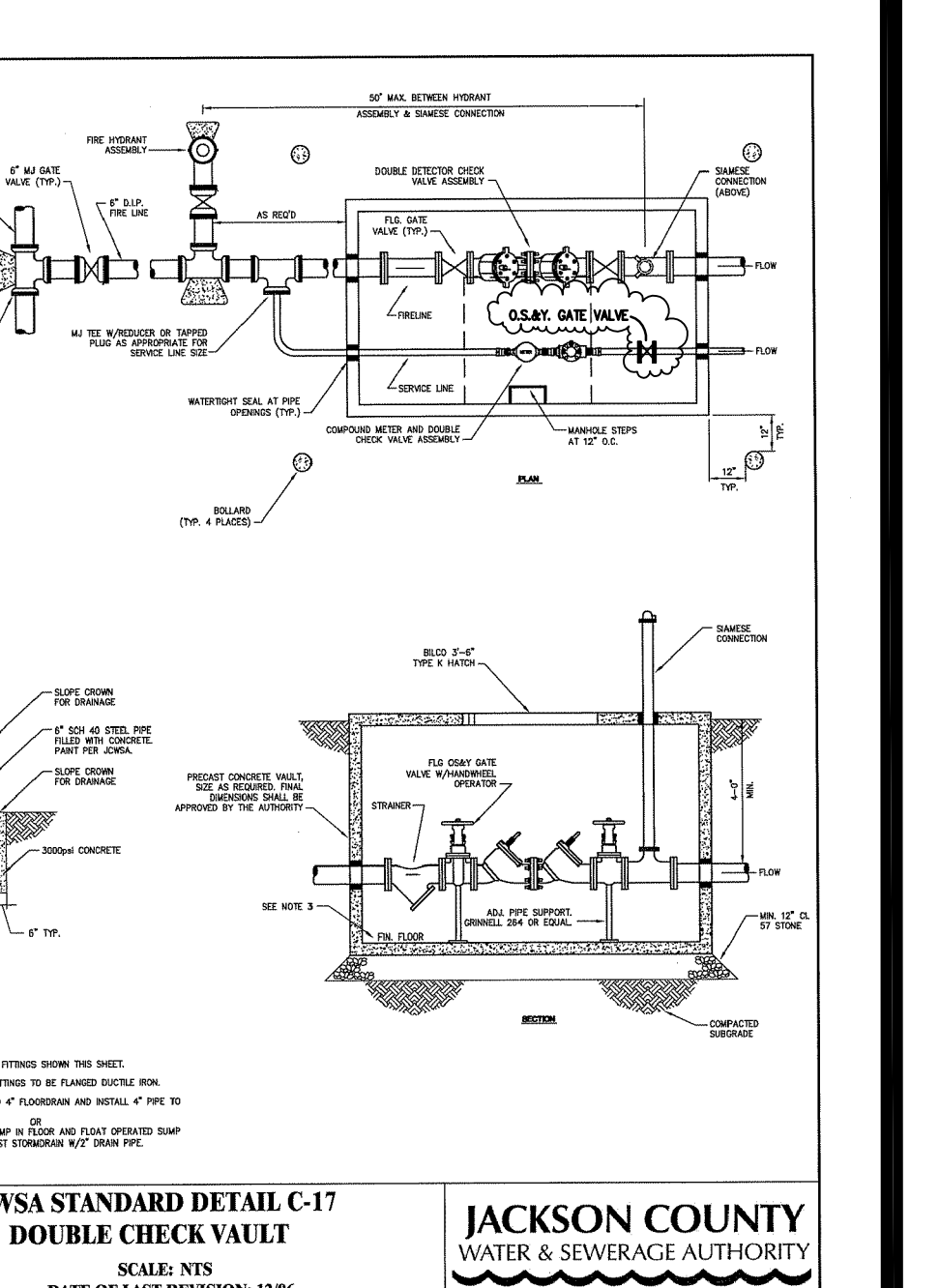
DETAIL D-20- THRUST BLOCK



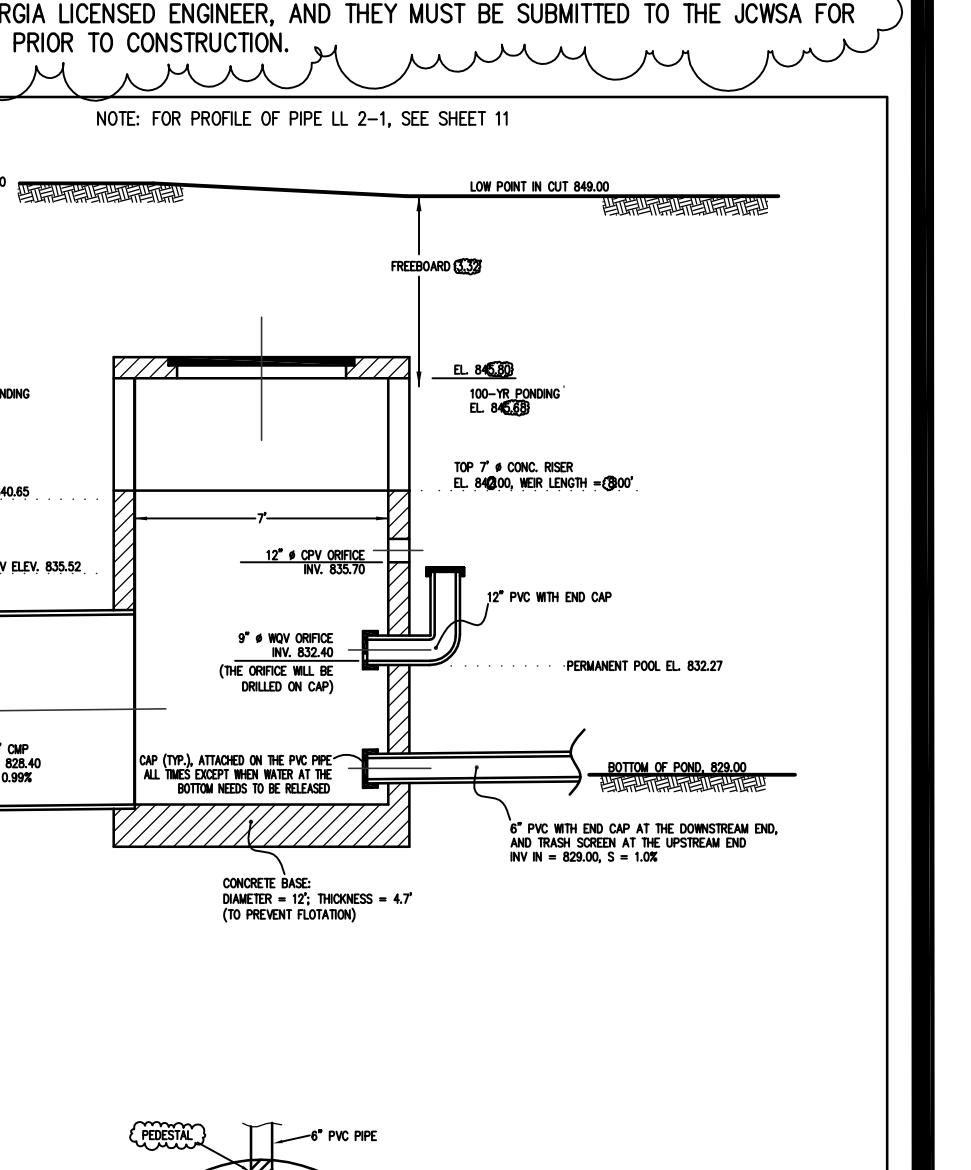
DETAIL D-20- THRUST BLOCK



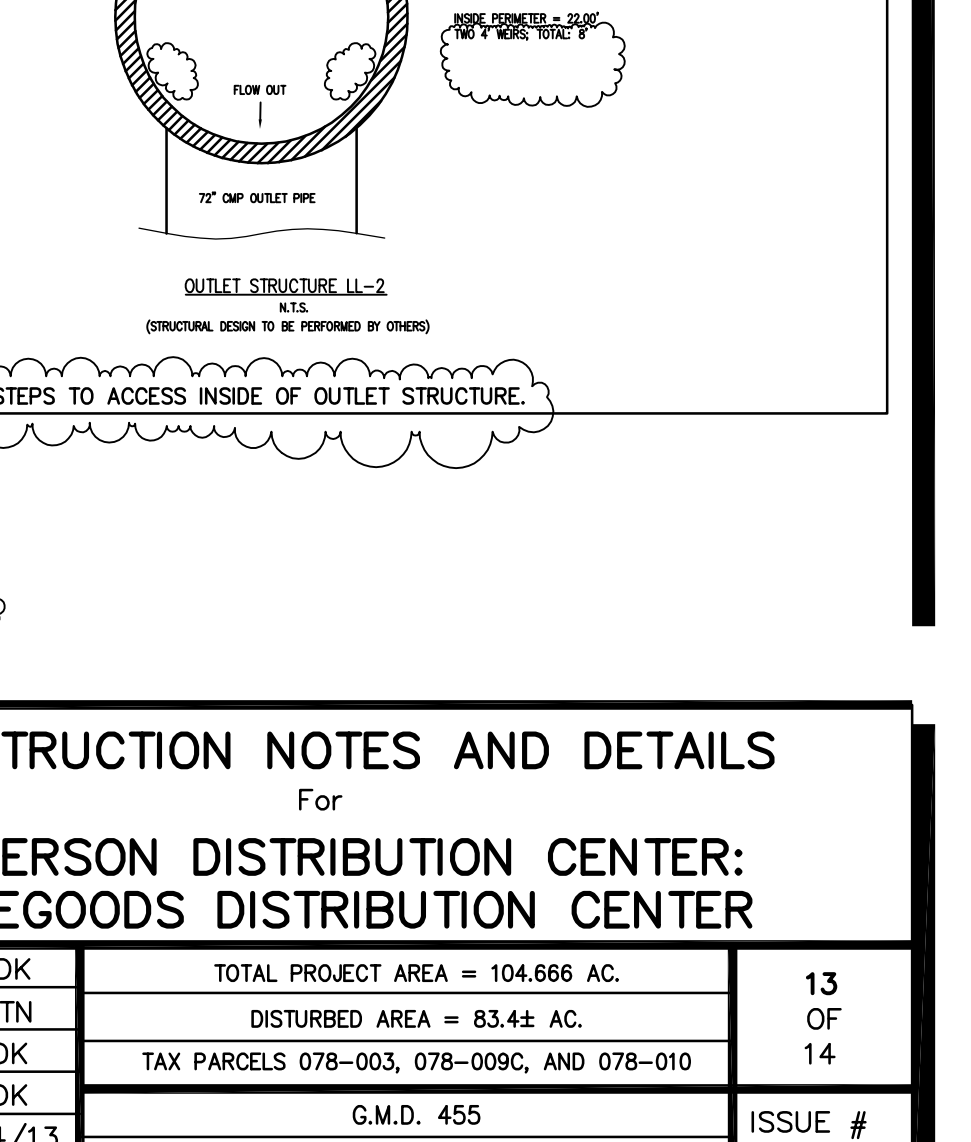
DETAIL D-20- THRUST BLOCK



DETAIL D-20- THRUST BLOCK



DETAIL D-20- THRUST BLOCK



DETAIL D-20- THRUST BLOCK