CMGT 235 – Electrical and Mechanical Systems

Discussion No. 31 MEP Coordination Unit 3 - Electrical Systems

Fall 2020

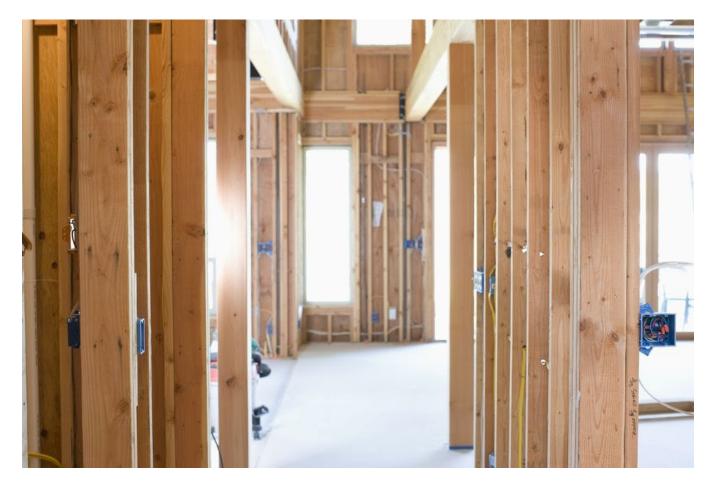
Rough-In

In the building trades, the term "rough-in" refers to the stage of construction after the basic framing is completed and the mechanical wiring, plumbing, and HVAC installations are completed but before walls and ceilings are closed up with wallboard and/or ceiling tiles.

At this point the work is reviewed by the building inspector. The absence of wall and floor coverings allows for easier modifications if the rough-in does not pass inspection or if the owner makes a change order to alter the project.

Types of Rough-In

Electrical: A rough-in here means that all electrical cables have been pulled through studs and other framing members and are inserted into wall and ceiling boxes. But the light switches, outlets, lights, and other devices are not attached—inspection of that aspect of the work occurs during the final inspection.



http://becoming-an-electrician.com/an-electricians-guide-to-roughing-in/

Plumbing: The rough-in here means that all water supply and drain pipes have been run through bored holes in the studs and other framing members and that all pipe connections have been made. But no sinks, faucets, or other fixtures and end elements are yet installed at this phase.

https://www.proconstructionguide.com/how-to-rough-in-plumbing-in-new-construction/

http://winnadenning.com/mechanical-rough-ins-plumbing-sprinklers-electrical-and-hvac/