



Butte County Department of Development Services

PERMIT CENTER

7 County Center Drive, Oroville, CA 95965

Main Phone (530) 552.3700 Fax (530) 538-7785

www.buttecounty.net/dds

Homeowner Checklist

Step 1: Debris Removal

- A. Phase I: Household hazardous waste removal
- B. Phase II: Debris removal and property clean-up

For more information on Debris Removal please visit:

<https://buttecountyrecovers.org/agencies/debris-removal>

Step 2: Tree Removal on Private Property

Fire damaged trees on private properties that pose a danger of falling onto a public right-of-way or other public improved facility shall be removed. Those properties that have been identified as potentially containing these hazard trees must be enrolled in either the Government Tree Removal Program or the Private Tree Program prior to issuance of any development permit or prior to final of any currently issued development permit:

For more information on Hazard Tree Removal visit:

<https://buttecountyrecovers.org/private-property-tree-removal/>

Step 3: Pre-Design Site Specific Requirements

- A. Contact the following departments directly to get helpful information:
 - a. Environmental Health Department
 - 1. Septic system location and size. (Bedroom count determines required size of septic system)
 - 2. Septic evaluation required for all existing tanks. [Link](#)
 - 3. Well test letters required for existing wells. [Link](#)
 - b. Sewer/Water Districts
 - 1. If served by community sewer or water, contact your sewer and water districts for requirements.
 - c. Planning Division
 - 1. Zoning/ land use.
 - 2. Setbacks (Fire Department standards require 30' setbacks to property lines if 1 acre or larger)
 - 3. Easements.
 - 4. Property boundary monuments must be exposed at the time of the first inspection.
 - d. PG&E
 - 1. Contact PG&E for electric and/or natural gas connections. Some areas require underground utilities.

---> While you're completing step 1-3

- A. Find a designer.
- B. Find a contractor.
- C. Find a supplier of materials.
- D. Follow these helpful steps from CSLB. http://www.cslb.ca.gov/Consumers/Hire_A_Contractor/
- E. Check our [DBP-31](#) and [DBP-51](#) forms for permit submittal requirements

Step 4: Submit your application for a building permit

A Permit Technician will assist you as they verify all required information is provided for the application intake. They will assist with all the building permits required during the rebuilding process.

Please Note: An incomplete submittal will not be accepted and will require you to come back at a later time with the supplemental information. Please insure your submittal is complete before applying to ensure timely processing of your building permit.

Step 5: Suggestions of what you can do to prepare to build at this time

*This step is a suggestion and not a requirement

- A. Confirm Contractor with a written contract.
 - B. Only pay 10% down or \$1,000, whichever is less as suggestion per CSLB.
 - C. Avoid paying in cash.
 - D. Confirm your supplier of materials with written contracts.
 - E. If working with other neighbors, inform them of your possible timeline to rebuild.
 - F. Enjoy community events, other fire survivor resources, and support groups.
-

Step 6: Your building plans are being reviewed

* Step 6 cannot be completed until step 4 is complete

- A. At this time, Butte County and other land use agency staff members will review your plans for compliance with all Local, State, and Federal codes.
 - B. Be sure to follow through on plan review comments with your design professional.
 - C. If you would like to check in on your review process call 530-552-3700 or check your status online by clicking [Here](#) or on the following link: <http://www.buttecounty.net/dds>
-

Step 7: Building Permit Issuance

- A. Your building permit application has been approved and permit issued.
 - B. Begin your rebuild.
-

Step 8: Inspections

- A. During construction, Butte County's building inspection staff will require access for various inspections. These are designed to ensure the structural integrity and safety of your home. During construction, all work must remain accessible and exposed for inspection purposes until you have received approval to cover. Not complying will delay the completion of your home.
 - B. It is the responsibility of you, the property owner or the property owner's contractor/agent, to call for all required inspections through each phase of the construction process. The building inspector will make the requested inspection and will either approve that portion of the construction as completed, or issue a notice indicating corrections for that portion of work. The work shall not be covered or concealed until all corrections have been completed and that portion of the work approved.
 - C. The inspection card and a paper copy of the County approved stamped construction plans must be kept on the job site at all times and made available for the building inspector at each inspection.
 - D. Prior to occupancy, obtain final approvals from agencies such as Fire, Public Works, Environmental Health, Building, Sewer and Water Districts as applicable.
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CONGRATS and welcome to your new home



Department of Public Works

Dennis Schmidt, Director
Radley Ott, Assistant Director

7 County Center Drive
Oroville, California 95965

T: 530.538.7681
F: 530.538.7171

buttecounty.net/publicworks

September 9, 2019

Subject: Professional Land Surveying Services Guide

As a part of the re-building process, verification of your property boundaries may have to be determined if they cannot be located. A licensed professional surveyor can help to locate your property line(s).

What kind of services can licensed professional land surveyors provide?

- Set property corners, also known as monuments
- Replace lost or obliterated property corners
- Retrace boundaries for fences and other purposes
- Locate, relocate, establish, reestablish or retrace property lines
- Determine boundary discrepancies
- Prepare Corner Records, maps or plats for plot plans



Depending on the existing evidence of your property's boundary, there are three different products that a licensed surveyor can provide for you. Each product will help confirm boundary line location to assist the building inspector and builder.

What does a licensed professional land surveyor produce for you?

- Retracement Survey. Most economical for the applicant in which the parcel was correctly mapped prior to the fire, and the original property corners are found by the surveyor and flagged for the building inspector.
- Corner Record. (B&P Code 8771) Parcel was mapped prior and only minimal original monuments are found and new monument(s) are set per record information. New

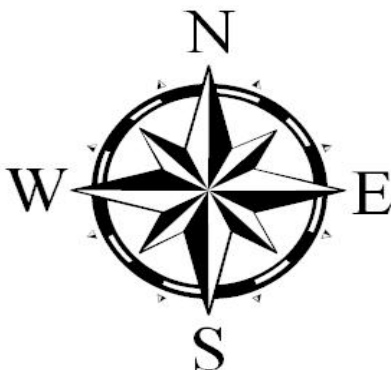
monuments are flagged for the building inspector. Corner Record is then submitted to County for review and filing.

- Record of Survey (B&P Code 8762) potentially requires the most work and greatest variability situation for property owners. In most of these cases, the parcel(s) were never properly mapped, many times created by deed, and no original record monuments exist. Alternatively, material discrepancies may have been found on record maps, leading to inconclusive property line location(s). Land Surveyors are required to survey the property(s), and within 90 days of performing the survey, the surveyor submits to the County the survey for review and recordation with an \$800.00 review deposit. Upon completion of the survey, the Surveyor will set monuments to mark the property corners.

To locate a land surveyor, you can ask your neighbors and/or friends for personal referrals, look on the internet or telephone directory. Using the web link below you will find a list of local surveyors that have provided their contact information to the county.

How do you select a land surveyor?

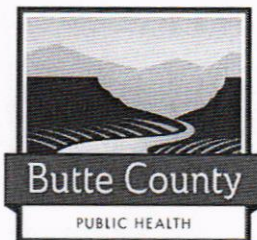
- Does the person have experience in surveying near your property?
- Ask for references and contact them before hiring
- Inquire to alternatives or modifications that may bring costs down. Also determine what could cause the costs to increase.



********It is your responsibility as a consumer to determine the professional that bests meets the requirements for your project. Consider experience and qualifications as well as cost when making your selection.***

List of local surveyors - <http://www.buttecounty.net/publicworks/Downloads>

For more general information - https://www.bpelsg.ca.gov/pubs/consumer_guide.pdf



Public Health Department

Environmental Health

202 Mira Loma Drive
Oroville, California 95965

Camp Fire Septic System Inspection Report

T: 530.552.3880
F: 530.538.5339

buttecounty.net/publichealth

APN: _____ Owner Telephone: _____

Parcel Address: _____

Property Owner Name: _____

Property Owner Mailing Address: _____

Prior to inspection, contact Butte County Environmental Health for septic records. If no records are available, an As-Built of the existing tank and leach lines will be required (Form AS).

Septic Tank Physical Observations

Tank Material: Concrete ☐ Fiberglass ☐ Poly ☐ Wood (Not Including Baffle) ☐

Inlet T: Present: Yes ☐ No ☐ In Good Condition: Yes ☐ No ☐

Outlet T: Present: Yes ☐ No ☐ In Good Condition: Yes ☐ No ☐

Is Effluent In The Tank At Normal Operating Level? Yes ☐ No ☐

If Not, Explain: _____

Baffle/ Sidewalls/ Top Has Visible Cracks/Deterioration: Yes ☐ No ☐

If So, Explain: _____

Overall Tank Condition: Good ☐ Fair ☐ Poor ☐

General Comments: _____

Drain Field Operational Observations

Perform Hydraulic Load Test.

Introduce water through the outlet. Minimum of 50 gallons of water.

Signs of Leach Line Failure: Yes ☐ No ☐

Surfacing Water ☐ Moist Soil ☐ Backflow Into Tank For Over 30 Minutes ☐

Other ☐ Explain: _____

Butte County Certified Professional

Phone Number

Name of Inspector

Signature

Date



Butte County Private Well Information

Post-fire well safety and testing guidelines.

Content updated on 5/14/19

WARNING: Recent testing conducted by the California State Water Board of creeks and rivers flowing from the fire affected areas on March 27th indicate elevated levels of heavy metals, including: Aluminum, Antimony, Arsenic, Cadmium, Selenium, Lead and Poly Aromatic Hydrocarbons (PAH's). Property owners who have private wells and also live near creeks or rivers should test for the presence of these heavy metals and PAH's in their well water. Residents in these areas should drink bottled water until well water is tested, treated and free of contamination.

How to determine well water safety

- If the casing or plumbing around the well was damaged by fire the water should be tested at a minimum for -bacteriological quality (i.e. Total and Fecal Coliform Bacteria). In this case a well owner should also consider testing the water for ash and debris contamination by testing for heavy metals and possibly for Benzene.
- If a well is near a creek or river that flows from the fire affected area, it should be tested for heavy metals, including but not limited to: Aluminum, Antimony, Arsenic, Cadmium, Selenium and Lead as well as, semi-volatile organic chemicals such as, Polynuclear Aromatic Hydrocarbons.
- If the fire was around the well, pressure tank, or any exterior plumbing including buried plastic piping, it is recommended to test the well water for the presence of Benzene. Benzene is a good indicator of the decomposition of plastics brought on by high temperatures. Samples of water for testing Benzene should be taken from a well after it is allowed to be dormant for 72 hours.
- If the house was damaged and a person is obtaining a permit to rebuild it, testing the well water for Benzene is a requirement.
- If there is further concern and/or need for additional water quality testing, especially for heavily impacted burn areas, it is recommended to test for the entire panel of Volatile Organic Chemicals and not just Benzene.

Water testing laboratories

Please note, the Public Health Laboratory only tests water for bacteria. If Benzene, PAH or heavy metal testing is needed, please contact one of the other labs listed below.

- **(Bacterial Only)** Butte County Public Health Laboratory: (530) 891-2747 | Oleander Ave. in Chico

- Fruit Growers Laboratory: (530) 343-5818 | 563 E Lindo Ave. in Chico
- Basic Laboratory: (530) 894-8966 | 3860 Morrow Ln. F in Chico

Sampling water for Bacteria

For accurate results, well water must be sampled correctly. Special care must be taken to assure that bacteria are not introduced into the sample when it is taken:

- Only use sterile bottles obtained from the approved laboratory; do not pre-rinse the bottle;
- Check that the well is tightly sealed to prevent the entrance of any surface contamination, either solid or liquid, to the water supply; vents should be screened, opening downward and above flooding; if the well is not sealed, take measures to have it sealed properly but allow for chlorine to be added to well now and in the future;
- Collect the sample from an outlet tap as close to the well as possible; the valve stem of the hose bib should not be leaking and should not be rusty or corroded; if a faucet is chosen inside the house the aeration screen, if present, needs to be removed from the end of the faucet;
- The water should be turned on and allowed to run full strength for 5 minutes; then adjust the water flow so that the sample bottle can be filled without splashing, but not so slow that the water curls back over the outlet of the hose bib;
- Remove the bottle's lid, fill the bottle to the line on the bottle's neck, and recap the bottle without touching the inside of the lid or bottle. Don't over or under fill the bottle or the sample might have to be rejected by the laboratory;
- Complete the laboratory's water sampling form;
- Transport water samples immediately to the laboratory, or refrigerate and submit to the laboratory less than 24 hours from the time the sample was taken.

Sampling water for Benzene

- Water in the well should be allowed to remain dormant for 72 hours. Therefore, do not turn on any faucet, inside or outside of the house within that 72 hour period.
- Use a water spigot that is closest to the well and preferably at the well head.
- Turn on the well pump. Open the valve to the water spigot slowly. Grab the first water that comes out of the spigot by capturing it in the sample bottles provided by the lab.
- Follow the lab's instructions for filling the bottles, being careful not to allow any air to remain in the bottles. Store and transport the bottles as instructed by the lab.

Lab results and treatment

- To treat for bacteriological contaminants, the well can be disinfected by adding chlorine at the water source and allowing the chlorinated water to flow throughout the distribution system (turn all faucets and hose bibs on until chlorine is smelled, shut off all faucets and hose bibs and allow the chlorinated water to sit in the distribution system for 8-12 hours). After 8-12 hours, flush all of the chlorinated water and then take follow-up samples for

bacteriological contaminants. Note: for some wells, it may take time to flush all of the chlorinated water out of the system. If samples are taken before all chlorine has cleared the system, a false negative result could occur.

- For assistance with sampling, disinfection and other contamination and treatment concerns, contact a Certified Distribution professional for small water systems.
- To obtain permits for new or replacement well construction, contact Butte County Environmental Health: (530) 552-3880
- Learn more about private well disinfection and sampling.



Wildland Urban Interface (WUI) Compliance Homeowner Checklist

2016 CBC CHAPTER 7A and CRC SECTION R337

The purpose of this handout is to assist in the protection of life and property by increasing the ability of the building to resist fire intrusions. New construction shall comply with the Wildland Urban Interface requirements of current Code.

- ☐ Remove all flammable vegetation within 30ft of building
- ☐ Reduce fuel vegetation for the next 70ft
- ☐ Remove tree limbs from within 10ft of chimney outlet
- ☐ Eliminate dead wood from trees overhanging structure

For more information, visit: <http://www.readyforwildfire.org/>



- ☐ Roof is free of leaves, needles, and/or dead vegetation. All roof gutters have debris guards installed. (CRC R337.5.4)



- ☐ Exterior wall coverings are noncombustible, ignition resistant, heavy timber, log wall or fire resistive construction. (CRC R337.7)

- ☐ Exterior wall coverings extend from the foundation to the roof and terminate at 2 inch nominal solid blocking between rafters and overhangs. (CRC R337.7.3.2)



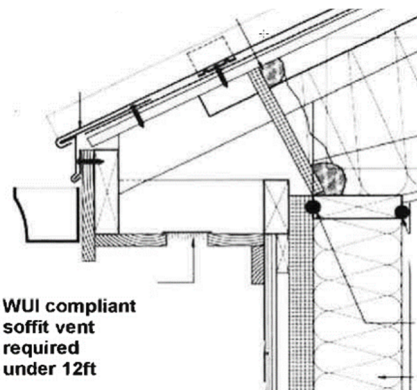
- ☐ Open/enclosed roof eaves and soffits, exterior porch ceilings, floor projections, under-floor areas and undersides of appendages comply with ignition resistant or noncombustible construction requirements. (CRC R337.5-9)

- ☐ Roof is a class A fire rated/listed roofing assembly. For high hazard fire zones. (CRC R337.5)

- ☐ Spaces created between roof coverings and roof decking are fire stopped by approved materials or have one layer of minimum 72lb mineral surfaced non-perforated cap sheet complying with ASTM D3909. (CRC R337.5.2)

- ☐ Where valley flashing is installed, the flashing is not less than 26gage and installed over not less than one layer of minimum 72lb mineral surfaced non-perforated cap sheet and at least 36 inches wide running the full length. (CRC R337.5.3)

- ☐ Attic gable and eaves above 12ft and under-floor ventilation are fully covered metal wire mesh, vents, or other materials that have a minimum 1/16 inch and maximum 1/8 inch openings, non-combustible and corrosion resistant. All other eave vents shall be listed/approved to resist the intrusion of flame and burning embers. (CRC R337.6)



WUI compliant
soffit vent
required
under 12ft

- Exterior glazing (windows, skylights, and door glazing) have a minimum of one-tempered pane, glass block, has a fire resistive rating of 20 minutes or is tested to meet performance requirements of SFM Standard 12-7A-2. (CRC R337.8.2)
- Exterior doors including garage doors are noncombustible, ignition resistant material, minimum 1 3/8 inch solid core, minimum 20 minute fire resistive rating or tested to meet the performance requirements of SFM Standard 12-7A-1 Garage doors are weather stripped with no gaps over 1/8". (CRC R337.8.3)
- The walking surface material of decks, porches, balconies and stairs within 10ft of the building shall be ignition resistant material, exterior fire retardant treated wood or noncombustible material. (CRC R337.9)



All materials used shall comply with CRC Section R337 requirements for exposure to wildfire. Refer to the Office of the State Fire Marshal approved Building Material Listing website for more information:
http://osfm.fire.ca.gov/licensinglistings/licenselisting_bml_searchcotest





PERMIT CENTER

Residential New Dwelling Unit • Additions • Alterations Plan Submittal Checklist

Purpose

This handout summarizes the requirements for a complete plan review submittal for residential dwellings, additions, alterations, and interior remodels. Current code regulations and local ordinances require building permits when buildings are constructed, altered or improved. The following guideline shall be reviewed before commencing any work.

Additional Agency Approvals

Planning

Contact the **Planning Division** at (530)552-3700 for the addition of new square footage prior to submittal of plans.

Environmental Health

Contact the Environmental Health Department for septic or well requirements at (530) 552-3880 or stop by their office located at **202 Mira Loma Dr., Oroville CA 95965**.

Public Works

Contact the **Public Works Department** for information on encroachment permit requirements or legal lot determination at (530) 538-7681.

CAL Fire

Contact **CAL Fire** for requirements at (530) 538-6320 for new construction.

Plan Submittal for Construction

Quantity

Complete plans and documents can be submitted directly to the Building Division counter between 8:00 am to 4:00 pm, Monday through Friday (Wednesdays hours are 8:00 am to 3:00 pm) or by email to dsbuilding@buttecounty.net.

- ☐ Three (3) complete sets of plans. At least two sets must be signed by designer or stamped and signed by licensed professional.
- ☐ Two (2) structural calculations sets, stamped and signed by the licensed professional (as applicable).

- ☐ Two (2) complete Special Inspection & Testing Agreement forms completed and signed by all parties (as applicable).
- ☐ Two (2) Title 24 energy reports signed by energy designer and owner (as applicable).
- ☐ Pre Construction Debris Form.
- ☐ Complete permit application.
- ☐ Plan check fee payment.

Minimum Plan Requirements

Size

Plans must be drawn to scale, fully dimensioned and legible on minimum 11 x 17 inch paper (e.g., site plan: 1/8-in = 1-ft, floor plan: 1/4-in = 1-ft) in a concise, detailed and professional manner. Single line floor plans are **not** acceptable and will be rejected.

Plans can be prepared by anyone for residential structures of wood frame construction if the building is not more than two stories (including a basement). If the structure does not follow conventional wood frame construction standards and has irregular design features, plans will be required to be prepared by a California Licensed Professional (architect or engineer).

Cover Sheet and / or Site Plan

- Job address / name and address of owner, contractor and contact person / address, phone number, title and registration of designer or design professional / description of work / applicable codes / type of construction / fire sprinkler system (yes or no) / sheet index / etc.
- Site plan identifying lot and building location / setback dimensions from new construction to all property lines and other existing buildings / location of easements and utilities / north arrow / etc.

Architectural Plans

- Floor plan identifying new and existing room uses / door and window schedule / etc.
- Details for stairs, handrails, guards, decks / occupancy separation elements and fire rating details (when applicable).
- Attic and under floor vent calculations.

- Exterior elevations identifying construction materials / wall covering specifications and fire rating (if located on fire hazardous area) / maximum building height and fireplace height, etc.

Structural Plans

- Structural identification of floor framing / roof framing / wall framing / location of shear walls or brace walls and associated schedule.
- Foundation plan / new footing details / connection to existing foundation system / reinforcement. (as applicable)
- Manufactured truss calculations and truss layout plan. (as applicable)

Mechanical / Electrical / Plumbing Plans

- Mechanical Plans - identify all supply and return air registers / HVAC and AC equipment size, location, access.
- Electrical Plans - identify size and location of main and sub-panels / electrical outlet receptacles, switches, light fixtures and types (TR, GFCI, WP, etc.).
- Plumbing Plans - identify size and location of piping / materials / gas piping calculations.

Special Inspection & Testing Agreement

- Two (2) Special Inspection & Testing Agreement forms completed and signed prior to permit issuance (as applicable).
Note: The design professional of record (architect or engineer) may perform the required inspections in lieu of a Special Inspection Agency on a case-by-case basis.

Title 24 Energy Compliance

- Mandatory forms completed and signed.

Flood Zone Verification

- Complete two elevation certificates if property is within 250 feet of a flood zone.

Design Criteria

Butte County has adopted the following codes and amendments:

2016 California Residential Code (2015 IRC)

2016 California Building Code (2015 IBC) if using engineered parameters

2016 California Mechanical Code (2015 UMC)

2016 California Electrical Code (2014 NEC)

2016 California Plumbing Code (2015 UPC)

2016 California Fire Code (2015 IFC)

2016 California Energy Code (2015 Building Energy Standards)

Title 25- Limited Density Owner Built Rural Dwelling

Wind speed design factor: $V_{3S} = 110$ mph, exposure based on geographical location

Seismic design category: D

Climate zone: 11 or 16

Plan Check Time

Refer to the following link for current plan check times: <http://www.buttecounty.net/dds/Building>

Permit Issuance

The following will be required at time of permit issuance:

- School District fees (for new square footage or additions greater than 500 ft²).
- Proof of current contractor's license / Worker's Compensation insurance (for contractors only).
- Outstanding building fee payment.

One set of approved plans will be returned to the applicant to be maintained at the job site until the final inspection has been made. The Building & Safety Division will keep a second set on file. The third set will be forwarded to the County's Assessor's Office. (If submitted digitally, a copy of the approved plans will be emailed to the applicant)

Questions

Contact the **Building Division** at (530) 552-3700 for inquiries on plan check and building fees.



PERMIT CENTER

New Manufactured Home Plan Submittal Checklist

Purpose

This handout summarizes the requirements for a complete plan review submittal for a new residential manufactured home. The following guideline shall be reviewed before commencing any work.

Note: Manufactured homes cannot be older than 10 years from manufacturer date to permit submittal date.

Additional Agency Approvals

Planning

Contact the **Planning Division** at (530)552-3701 for land use and setbacks prior to submittal of plans.

If located in **City of Gridley**, contact the City Planning Department at (530) 846-3631

If located in **City of Biggs**, contact the City Planning Department at (530) 868-5447

Environmental Health

Contact the Environmental Health Department for septic or well requirements at (530) 552-3880 or stop by their office located at 202 Mira Loma Dr., Oroville CA 95965.

Public Works

Contact the **Public Works Department** for information on encroachment permit requirements or legal lot determination at (530) 538-7681.

CAL Fire

Contact **CAL Fire** for requirements at (530) 538-6320 for new construction.

Plan Submittal for Construction

Quantity

Complete plans and documents can be submitted directly to the Building Division counter between 8:00 am to 4:00 pm, Monday through Friday (Wednesdays hours are 8:00 am to 3:00 pm) or by email to dsbuilding@buttecounty.net.

- ☐ Three (3) complete sets of plans. At least two sets must be signed by their designer.
- ☐ One (1) Installation manual from the manufacturer.

- ☐ Two (2) complete foundation or tie down plans, stamped and signed by the licensed professional and/or stamped approved by the State of California.
- ☐ Two (2) complete Butte County Manufactured Home Support Data Sheets ([Form DBP-52](#)).
- ☐ Two (2) marriage line plan from the manufacturer (If the home is larger than a single wide)
- ☐ Complete permit application.
- ☐ Plan check fee payment.

Minimum Plan Requirements

Size

Plans must be drawn to scale, fully dimensioned and legible on minimum 11 x 17 inch paper (e.g., site plan: 1/8-in = 1-ft, floor plan: 1/4-in = 1-ft) in a concise, detailed and professional manner.

Cover Sheet and / or Site Plan

- Job address / name and address of owner, contractor and contact person / address, phone number, title and registration of designer or design professional / description of work / applicable codes / type of construction / fire sprinkler system (yes or no) / sheet index / etc.
- Site plan identifying lot and building location / setback dimensions from new construction to all property lines and other existing buildings / location of easements / location of utilities such as electric meter, well/water meter, propane tank/gas meter / north arrow / etc.

Plans

- Manufacturer's floor plan identifying room uses and all dimensions of home.
- Plans for the landings serving all exterior doors. Details for stairs, handrails, guards, decking material, framing, fasteners, etc.

Flood Zone Verification

- Complete two elevation certificates if property is within 250 feet of a flood zone.

Design Criteria

Butte County has adopted the following codes and amendments:

2016 California Residential Code (2015 IRC)
2016 California Building Code (2015 IBC)
2016 California Mechanical Code (2015 UMC)
2016 California Electrical Code (2014 NEC)
2016 California Plumbing Code (2015 UPC)
2016 California Fire Code (2015 IFC)
Title 25

Wind speed design factor: $V_{3S} = 110$ mph,
exposure based on geographical location

Seismic design category: D

Snow loads per Title 25 Table 1338-1 Region III:

Elevation	Roof Live Load
0-2000 ft.	20 psf
2001-3000 ft.	30 psf
3001-4000 ft.	60 psf
4001-5000 ft.	80 psf
Over 5000 ft	See Design Criteria DPC-5

433A (Permanent Foundation – Real Property)

Purpose

In order to complete the process of recording a home as Real property with Butte County as well as HCD, the county needs to collect and prepare certain documents with the Records Office.

Required Documents

- A copy of the most current Grant Deed with Legal Description.
- If the home is used, a current Title (HCD Title) will be required at time of application. If the home is new, a Manufacturers Certificate of Origin (MCO) is provided upon delivery of the home and must be turned in to the Building Division prior to scheduling a Final inspection.
- Once the building permit has passed Final Inspection, the Building Division will record the documents and notify the applicant to provide a check for the amount of \$11.00 per section (\$11.00 single wide, \$22.00 double wide, etc.) made out to HCD. This will be sent in with your application.

Plan Check Time

Refer to the following link for current plan check times: <http://www.buttecounty.net/dds/Building>

Permit Issuance

The following will be required at time of permit issuance:

- School District fees.
- Proof of current contractor's license / Worker's Compensation insurance (for contractors only).
- Outstanding building fee payment.

One set of approved plans will be returned to the applicant to be maintained at the job site until the final inspection has been made. The Building & Safety Division will keep a second set on file. The third set will be forwarded to the County's Assessor's Office. (If submitted digitally, a copy of the approved plans will be emailed to the applicant)

Questions

Contact the **Building Division** at (530) 552-3700 for inquiries on plan check and building fees.



Informational Document

RE: Title 25 Limited Density Owner Built Rural Dwellings - differences from Title 24 SFD

DATE: 06.21.18

NOTE: There were amendments to the current ordinance #4110, which is noted in key points 9 and 10 below. These amendments were approved as a 1st reading by the BOS on 06.12.18 and will have a 2nd reading on 06.26.18. Should it be approved by the BOS the ordinance as amended will be effective July 26th, 2018.

The key differences between a Title 25 Limited Density Owner Built Rural Dwelling (LDOBRD) SFD vs a SFD built using Title 24. Below is a list of the main twelve (12) key differences given two (2) different set of regulations (codes) being used. An explanation and/or history for each key point follow this list. T-25 will apply as defined by "Rural" within the ordinance: Applicable in rural zones: Agriculture (AG), Timber Mountain (TM), Timber Production (TPZ), Rural Residential (RR), Rural Country Residential (RCR), Foothill Residential (FR), Foothill Country Residential (FCR), Resource Conservation (RC), and Community Commercial (CC) zones; and Outside the LAFCO adopted Municipal Spheres of Influence.

TITLE 24 DWELLING

1. Permit valid 1 yr. with 2 yrs.' renewable
2. Inspections required 4 plus
3. Deed Restriction typically NOT required
4. Structural Calcs typically required
5. Energy Calcs required
6. Minimum Room dimensions required
7. Temporary occupancy during construction NOT allowed
8. Generators are not allowed as a sole power Source (typically need a backup source like PV)
9. Fire Sprinklers (FS) required in all new SFD's
10. Owner produced materials or milled lumber Would require approval by T-24 code standards and grading stamps on lumber
11. Heating capacity and temperature maintenance required
12. Electrical wiring and circuits are required

TITLE 25 LDOBRD DWELLING

Permit valid 3 yrs. with 2 yrs. renewable
Inspections required 3 plus
Deed Restriction ALWAYS required
Structural Calcs typically NOT required
Energy Calcs typically NOT required
Minimum room dimensions NOT required
Temporary occupancy during construction allowed
Generators are allowed as a sole power source - installation requirements are more restrictive.
FS required in new SFD's that are >1200 sq.ft.
Owner produced materials or milled lumber is allowed with a review and approval by the Building Official – 19% moisture content
Heating Capacity no specified requirement or temperature maintenance required
Electrical wiring SFD/Structures are not required to be wired unless required by the Building Official

Key Point 1: Permit Validity: Title 24 permits with paid renewals are valid for 3 years. Title 25 permits are valid with paid renewals for 5 years. The extension on the permit from 1 year to 3

years at initial submittal is based on owner's using this code may need more time to acquire funds, and obtain building materials as they construct.

Key Point 2: Inspections: A Title 24 SFD/structure requires at a minimum 4 inspections to a full inspection series throughout the construction process that is standard with the existing code. These consist of foundation, slab or underfloor, shear/bracing, 4 way (rough building, electrical, plumbing, and mechanical), insulation, and a final. However, depending upon design we may have additional inspections: drywall nail, shower pan, retaining wall, etc. Whereas, a Title 25 SFD/Structure will have 3-4 Inspections a foundation inspection prior to placement of concrete, a concrete slab or under-floor inspection, a 4 way (rough framing, plumbing, electrical, and mechanical inspection) prior to covering of walls, and a final inspection. *Note: We have added into Countywide Draft version more clarity that additional/supplemental inspections may be required at discretion of Building Official.*

Key Point 3: Deed Restriction: Deed restriction is required for Title 25 SFD/structure. This will notify future owners of the fact that these structures were constructed under an alternative to the standard building permit, Title 24 building code oversight process. Title 24 SFD/structure requires deed restrictions only in some cases.

Key Point 4: Structural Calculations: Structural calcs are not required. The requirement under the ordinance is that a structure shall be considered to be in "sound structural condition" and shown on plans. Should Plan Review staff interpret that it or portions do not meet the definition, we will then require structural calcs. We encourage them to meet conventional bracing when possible. Structural Calcs can be very expensive and become a deal breaker for most applicant when wanting to rebuild.

Key Point 5: Energy Calculations: In a Title 25 SFD/structures energy calculations are not required unless they use nonrenewable fuels. This is one of the huge savings on building a new house. The cost for the calculations as well as the features required per such calcs can be very expensive.

Key Point 6: Room Dimensions: In a Title 25 SFD/structures there are no requirements for room dimensions provided that there is adequate light and ventilation and adequate means of egress.

Key Point 7: Temporary Occupancy: Temporary occupancy during construction for a Title 25 SFD/structure can be provided if requested and approved sanitary facilities are available at the site. Additionally, the work completed should not create any condition that endangers life, health or safety of the public or occupants. Title 24 SFD/structures it is rare that we would allow temporary occupancy during construction.

Key Point 8: Generators: The area(s) where T-25 is typically used is far from public utilities and pose an extreme financial hardship to hook up. Most will install some sort of PV as a backup. The majority use wood stoves for heat and have propane for their water heater heaters and cooking purposes. The Smoke detectors and carbon monoxide alarms should all have battery backups. Hence, the generator not working or running out of gas should not pose a health, or life safety issue until they can get it back up and running. Additionally, the requirements for generators are more restrictive than the residential noise ordinance in that it requires the generator to be enclosed with a requirement of maximum 55 decibels 20 feet from the structure.

Key Point 9: Fire Sprinklers: Fire sprinklers are required in SFD/Structures built in T-25 area(s) when the square footage exceeds 1200 sq. ft making it consistent with the new Accessory Dwelling Units.

Key Point 10: Owner-Produced or Used Materials: Title 25 SFD/structures can make use of owner-produced or used materials and appliances may be utilized unless found not to be of sufficient strength or durability to perform the intended function; owner-produced or used lumber may be utilized unless found to contain dry rot, excessive splitting, or other defects obviously rendering the material unfit in strength or durability for the intended purpose. The lumber if owner produced would require the lumber meet California Green Building Regulations code for the 19% moisture content. Title 24 requires the use of the “Alternate Materials and Methods Request” which would require research and documentation that meets T-24 code and standards.

Key Point 11: Heating Capacity and Temperature Maintenance: Heating capacity and temperature maintenance for a Title 24 SFD to meet California Energy Code (70 degrees heat is to be maintained above 3 feet from the floor). In the Title 25 SFD this is not required though the all the ones built to date have a source that easily provides this requirement.

Key Point 12: Electrical Installation Requirements: Directly form ordinance: “ In structures where electrical usage is confined to one or more rooms of a structure, the remainder of the structure shall not be required to be wired or otherwise fitted for electrification unless the Building Official determines the electrical demands are expected to exceed the confinement and capacity of that room(s)”. They can partial wire structure- completely or not at all. We find they will typically wire the structure. They are required to meet the current adopted California Electrical Code for all installations.

The Ordinance is based on HCD's: Health and Safety Code Sections 17958, 17958.2, 17958.5, 17958.7, and Article 8, Subchapter 1, Chapter 1, Division 1, of Title 25, California Code of Regulations.

The Ordinance establishes provisions to support the use of alternative construction design, materials, and methods that provide enhanced protection of our environment; improve the economic viability of sustainable construction methods; aid affordability when performing construction improvements; increase participation and consumer protection through promoting lawful construction activity; and enhance owner equity in the improvement of property.

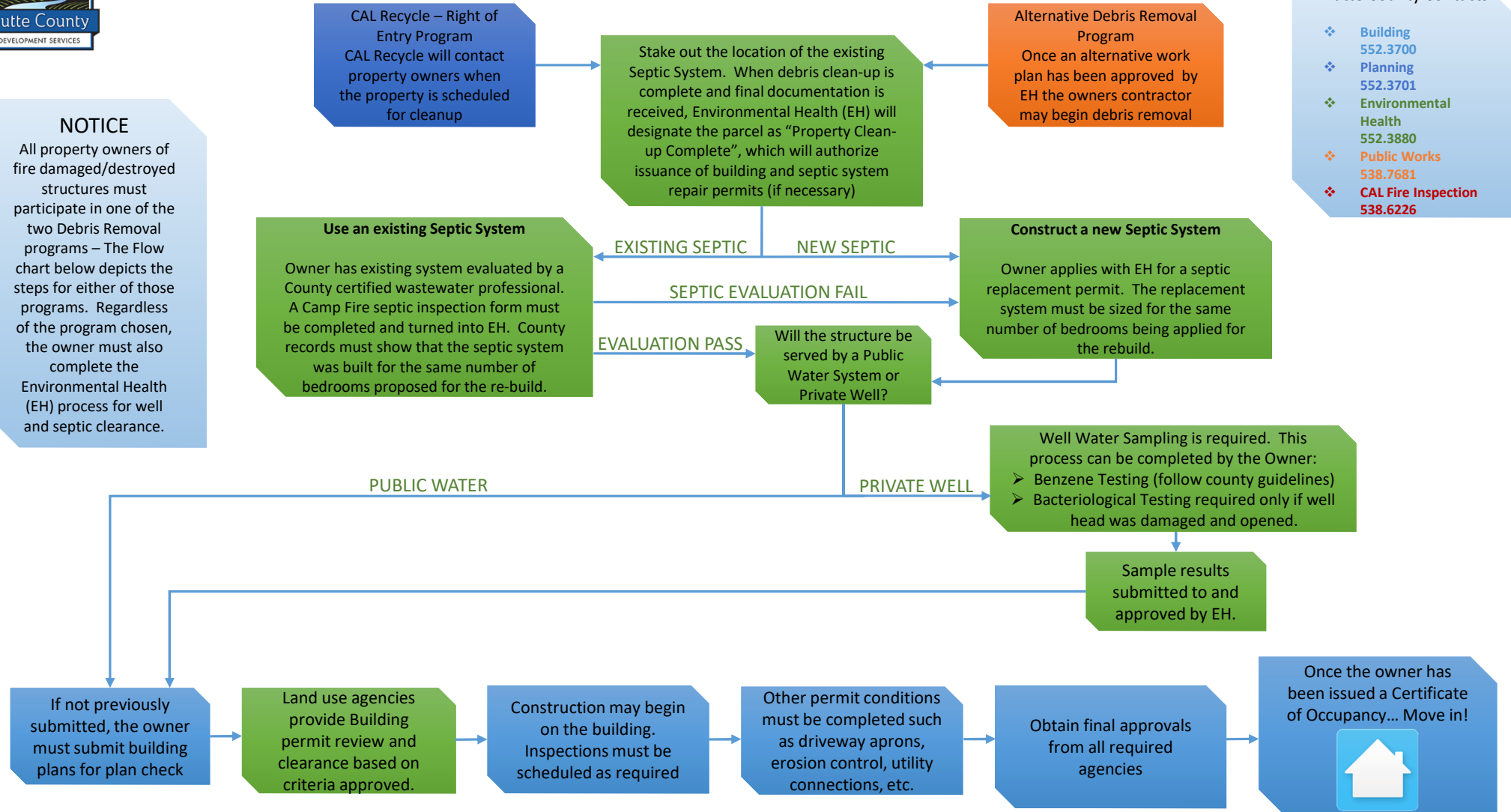
The Ordinance removes permit barriers to streamline approving the application of alternative materials and methods for construction, maintenance and improvements to limited density owner built rural dwellings.



BUTTE COUNTY CAMP FIRE REBUILD FLOW-CHART

NOTICE

All property owners of fire damaged/destroyed structures must participate in one of the two Debris Removal programs – The Flow chart below depicts the steps for either of those programs. Regardless of the program chosen, the owner must also complete the Environmental Health (EH) process for well and septic clearance.



Butte County Contacts

- ❖ Building 552.3700
- ❖ Planning 552.3701
- ❖ Environmental Health 552.3880
- ❖ Public Works 538.7681
- ❖ CAL Fire Inspection 538.6226